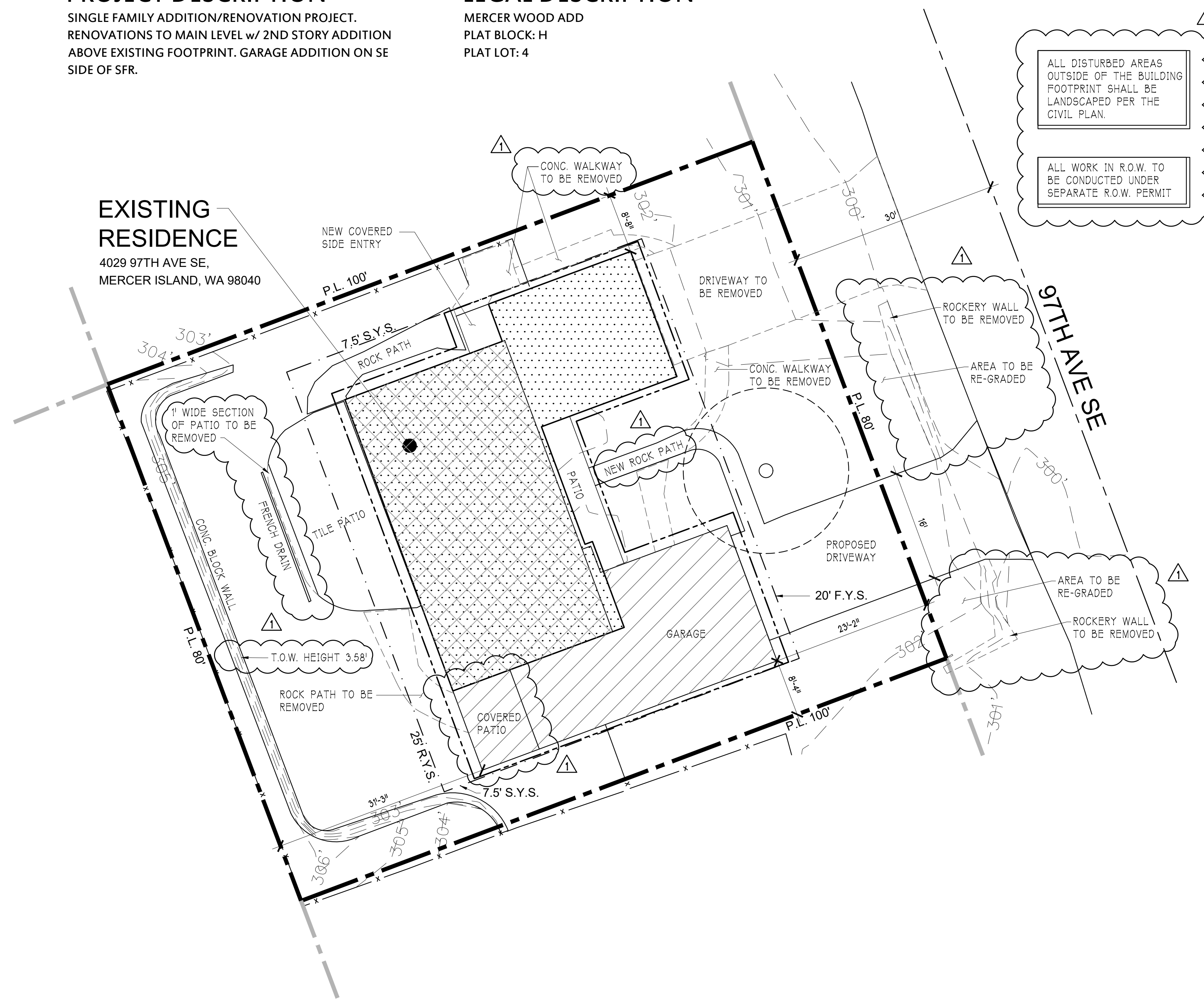


PROJECT DESCRIPTION

SINGLE FAMILY ADDITION/RENOVATION PROJECT.
 RENOVATIONS TO MAIN LEVEL w/ 2ND STORY ADDITION
 ABOVE EXISTING FOOTPRINT. GARAGE ADDITION ON SE
 SIDE OF SFR.

LEGAL DESCRIPTION

MERCER WOOD ADD
 PLAT BLOCK: H
 PLAT LOT: 4



EXISTING RESIDENCE
 4029 97TH AVE SE,
 MERCER ISLAND, WA 98040

SITE PLAN

SCALE 22X34 1" = 10'-0"
 SCALE 11X17 1" = 20'-0"

SHEET INDEX

- C1.1 SITE PLAN & PROJECT INFO
- C1.2 ZONING INFORMATION
- C1.3 IMPERVIOUS SURFACE CALCULATIONS & DIAGRAMS
- C-1.00 CIVIL GENERAL NOTES
- C-2.00 TESC PLAN
- C-3.00 DRAINAGE & GRADATION PLAN
- C-4.00 CIVIL DETAILS
- A1.1 GENERAL NOTES & WINDOW & DOOR SCHEDULE
- A2.1 MAIN FLOOR PLANS
- A2.2 UPPER FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 BUILDING SECTIONS
- A4.4 BUILDING SECTIONS
- A5.1 ARCHITECTURAL DETAILS
- S-0.0 STRUCTURAL NOTES
- S-1.0 FOUNDATION PLAN
- S-2.0 2ND FLOOR FRAMING PLAN
- S-3.0 ROOF FRAMING PLAN
- SD-1 FOUNDATION DETAILS
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS

LEGEND

- PROPERTY LINE OF PROPOSED PROJECT
- PROPERTY LINE OF ADJACENT PROPERTIES
- CONTOUR LINE - 1' ELEVATION CHANGE
- EXISTING SFR
- MAIN LEVEL ADDITION
- UPPER LEVEL ADDITION
- STRUCTURE OR SURFACE TO BE REMOVED
- CENTER LINE OF STREET
- EDGE OF CONCRETE
- ROOF OUTLINE
- PROPERTY SETBACK
- EXISTING FENCE
- EXISTING TREES/FOLIAGE
- PRIMARY ENTRANCE

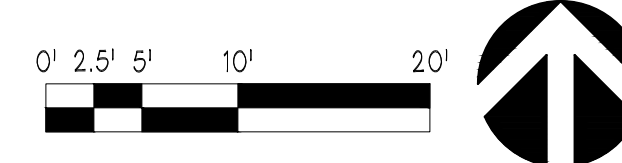
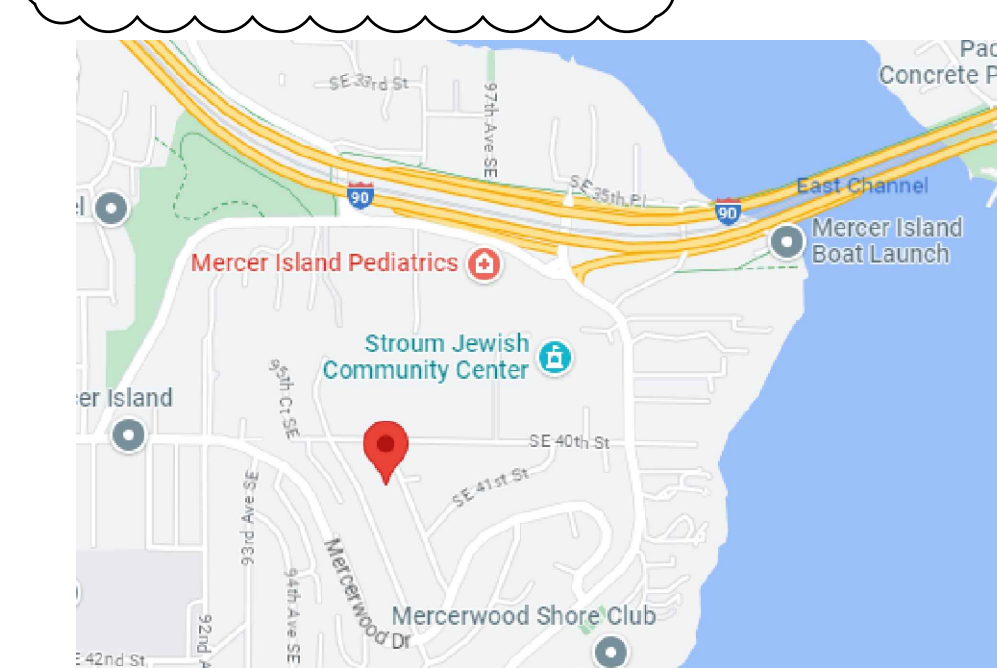
PROJECT INFORMATION

OWNER ATWAL AVNEET SINGH+GHUMMAN
 JURISDICTION MERCER ISLAND
 PARCEL NUMBER 545600-0020
 ZONING R-8.4
 YEAR BUILT 1955
 LOT AREA 8,000 SQFT

YARD CALCULATIONS

REAR YARD = 25 FEET REQUIRED
 REAR YARD = 25'
 FRONT YARD = 20 FEET REQUIRED
 FRONT YARD = 20'
 SIDE YARD = 15 FEET SUM REQUIRED
 SIDE YARD = X'
 MAX HEIGHT = 30 FEET TO TOP OF HIGHEST ROOF POINT

VICINITY MAP FROM GOOGLE MAPS



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1

YEN DESIGN INC.
 206.432.1111
 WWW.YENDES.COM

APPROVAL STAMP

ENGINEER STAMP

A RESIDENTIAL REMODEL & ADDITION
4029 MERCER ISLAND
 AVNEET ATWAL
 4029 97TH AVE SE
 MERCER ISLAND, WA

SITE PLAN & PROJECT INFO

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	C1.1

SFR (MEASURED TO OUTSIDE OF STUD WALL)

CONDITIONED SPACE			
	EXISTING/RENO	NEW	TOTAL
MAIN LEVEL	1528 SQ-FT	0 SQ-FT	1528 SQ-FT
UPPER LEVEL	0 SQ-FT	1113 SQ-FT	1113 SQ-FT
TOTAL	1528 SQ-FT	1113 SQ-FT	2641 SQ-FT

UNCONDITIONED SPACE			
	EXISTING/RENO	NEW	TOTAL
MECH ROOM	0 SQ-FT	44 SQ-FT	44 SQ-FT
FRONT PATIO	66 SQ-FT	43 SQ-FT	109 SQ-FT
COVERED SIDE ENTRY	0 SQ-FT	27 SQ-FT	27 SQ-FT
REAR COVERED PATIO	0 SQ-FT	108 SQ-FT	108 SQ-FT
GARAGE	0 SQ-FT	576 SQ-FT	576 SQ-FT
TOTAL	66 SQ-FT	798 SQ-FT	864 SQ-FT

AREA TABULATIONS OF PROPOSED PLAN

LOT COVERAGE			HARDSCAPE				
	EXISTING	NEW	TOTAL	EXISTING	NEW	TOTAL	
SFR ROOF	1999 SQ-FT	724 SQ-FT	2723 SQ-FT	UNCOVERED PATIO	382 SQ-FT	0 SQ-FT	382 SQ-FT
DRIVEWAY	333 SQ-FT	348 SQ-FT	681 SQ-FT	WALKWAYS	225 SQ-FT	0 SQ-FT	225 SQ-FT
COVERED PATIOS	0 SQ-FT	93 SQ-FT	93 SQ-FT	RETAINING WALL	177 SQ-FT	0 SQ-FT	177 SQ-FT
TOTAL	2332 SQ-FT	1165 SQ-FT	3497 SQ-FT	TOTAL	784 SQ-FT	0 SQ-FT	784 SQ-FT

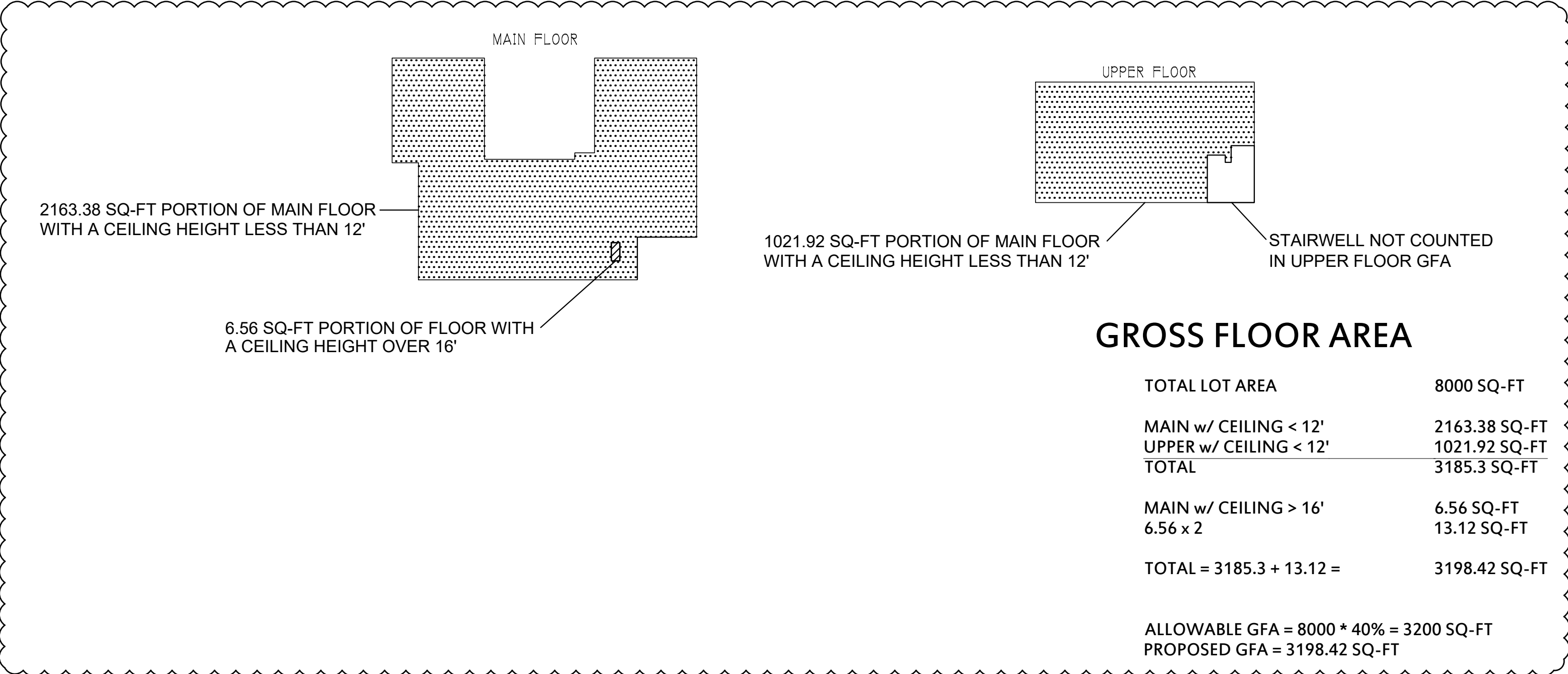
REMOVED DRIVEWAY 333 SQ-FT

REMOVED WALKWAY 225 SQ-FT
REMOVED PATIO 18 SQ-FT

MAX LOT COVERAGE = (8000 * 40%) = 3200 SQ-FT (MAX)
PROPOSED LOT COVERAGE = (2332-333) + 1165 = 3164 < 3200 (OK)

MAX HARDSCAPE = (8000 * 9%) + 1.6% BORROWED FROM LOT COVERAGE = 848 SQ-FT (MAX)
PROPOSED HARDSCAPE = 784-225-18 = 541 < 848 (OK)

LOT COVERAGE AND HARDSCAPE



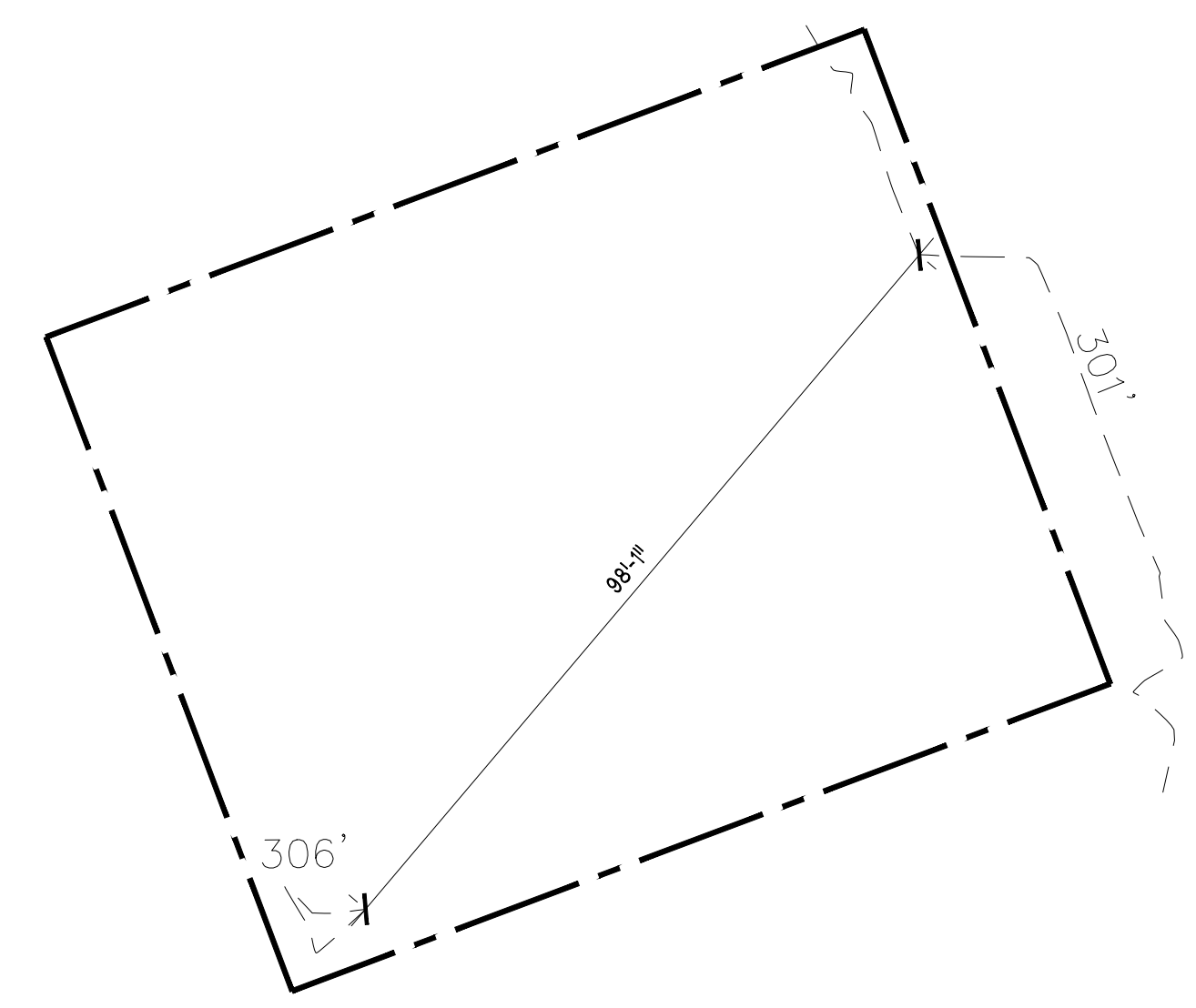
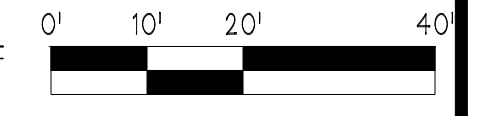
GROSS FLOOR AREA

TOTAL LOT AREA	8000 SQ-FT
MAIN w/ CEILING < 12'	2163.38 SQ-FT
UPPER w/ CEILING < 12'	1021.92 SQ-FT
TOTAL	3185.3 SQ-FT
MAIN w/ CEILING > 16'	6.56 SQ-FT
6.56 x 2	13.12 SQ-FT
TOTAL = 3185.3 + 13.12 =	3198.42 SQ-FT

ALLOWABLE GFA = 8000 * 40% = 3200 SQ-FT
PROPOSED GFA = 3198.42 SQ-FT

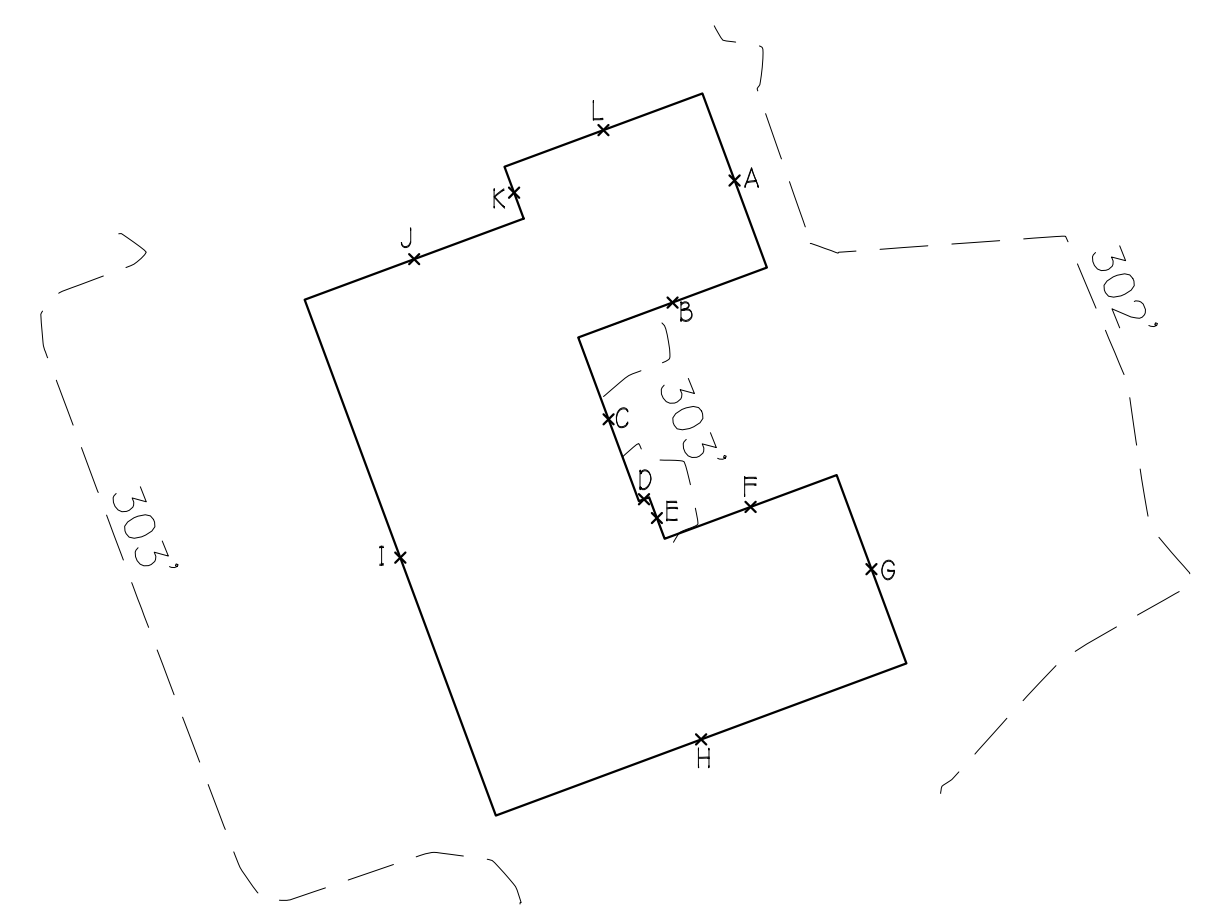
GFA CALCULATION & DIAGRAM

SCALE 22X34 1" = 20'-0"
SCALE 11X17 1" = 40'-0"



HIGHEST ELEVATION 306 FT
LOWEST ELEVATION 301 FT
ELEVATION DIFFERENCE 5 FT
HORIZONTAL DIFFERENCE 98 FT
LOT SLOPE = (5 / 98) * 100 = 5.1%

LOT SLOPE DIAGRAM & CALCULATION

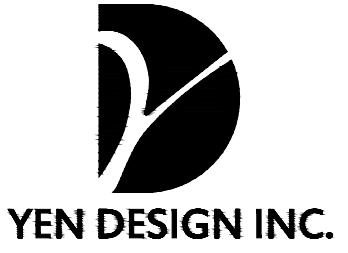


AVERAGE GRADE CALCULATION AND HEIGHT

AVERAGE BUILDING ELEVATION CALCULATION		
MIDPOINT ELEVATION	EXTERIOR WALL LENGTH	X * x
A = 302.289388	a = 18.92	5718.308
B = 302.8489583	b = 20.89583333	6328.281
C = 302.95	c = 18.83	5705.558
D = 303.05	d = 1.333333333	404.0667
E = 303.05	e = 4.083333333	1237.454
F = 302.8779297	f = 19.5625	5925.049
G = 302.5784505	g = 20.91666667	6328.933
H = 302.5084635	h = 45.60416667	13795.65
I = 302.6539714	i = 57.29166667	17339.55
J = 302.5013021	j = 24.16666667	7310.448
K = 302.4179688	k = 5.458333333	1650.698
L = 302.2516276	l = 21.4375	6479.519
	258.50	78223.51

Formula 1:
78223.51252 = 302.6054643
258.5

REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1



206.432.1111
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APPROVAL STAMP

ENGINEER STAMP


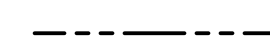
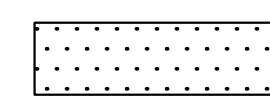
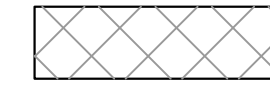

A RESIDENTIAL REMODEL & ADDITION
4029 MERCER ISLAND
AVNEET ATWAL
4029 97TH AVE SE
MERCER ISLAND, WA

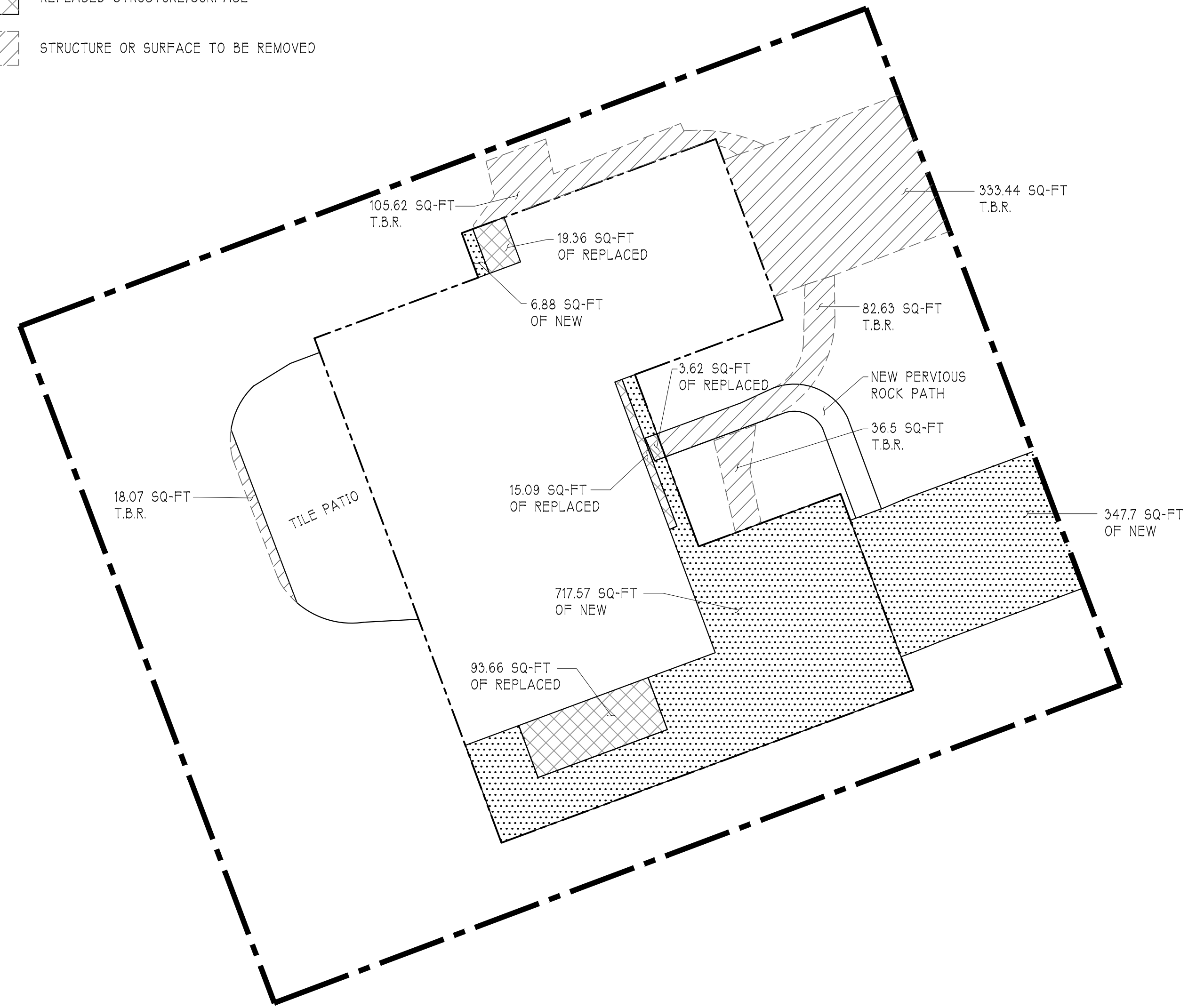
ZONING INFORMATION

JOB NO. 21-0405
HALF SCALE 11x17
FULL SCALE 22x34
SHEET

C1.2

LEGEND

-  PROPERTY LINE OF PROPOSED PROJECT
-  BUILDING ROOF LINE
-  NEW STRUCTURE/SURFACE
-  REPLACED STRUCTURE/SURFACE
-  STRUCTURE OR SURFACE TO BE REMOVED



IMPERVIOUS SURFACE

	REMOVED	NEW
	333.44 SQ-FT	347.7 SQ-FT
	105.62 SQ-FT	717.57 SQ-FT
	82.63 SQ-FT	6.88 SQ-FT
	18.07 SQ-FT	
	36.5 SQ-FT	
TOTAL	576.26 SQ-FT	1072.15 SQ-FT

1072.15 NEW - 576.26 REMOVED = 495.89 SQ-FT

MAX NET INCREASE IMPERVIOUS = 500 SQ-FT


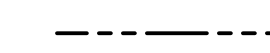

IMPERVIOUS SURFACE

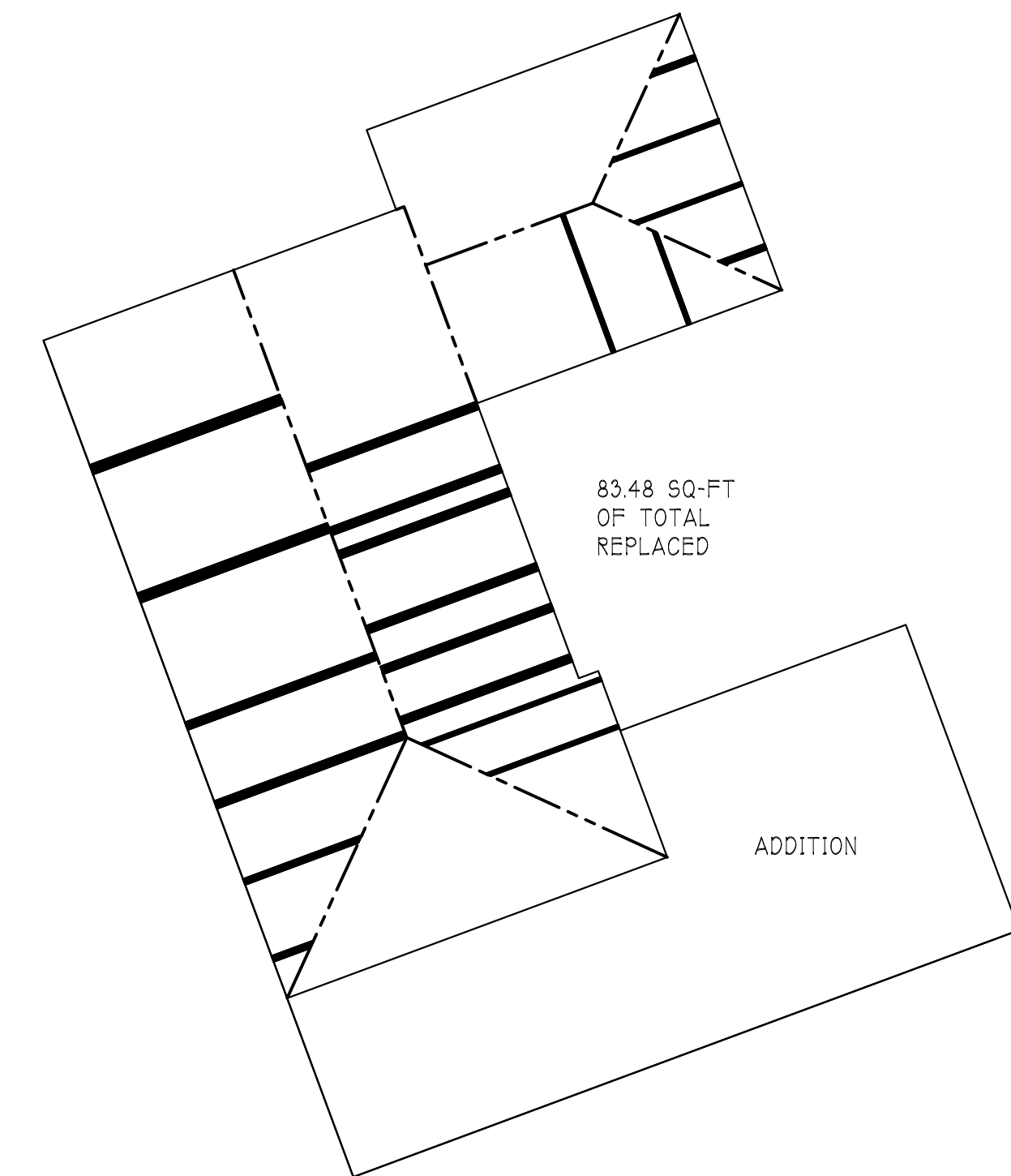
	REPLACED	NEW
	19.36 SQ-FT	347.7 SQ-FT
	3.62 SQ-FT	717.57 SQ-FT
	15.09 SQ-FT	6.88 SQ-FT
	93.66 SQ-FT	
	83.48 SQ-FT	
TOTAL	215.21 SQ-FT	1072.15 SQ-FT

1072.15 NEW + 215.21 REPLACED = 1287.36 SQ-FT

TOTAL NEW + REPLACED IMPERVIOUS = 1287.36 SQ-FT

LEGEND

-  BUILDING FOOTPRINT
-  EXISTING ROOF BEARING LINES
-  TRIBUTARY OF NEW/REPLACED POSTS WITHIN EXISTING EXTERIOR WALLS



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1



206.432.1111
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APPROVAL STAMP

ENGINEER STAMP

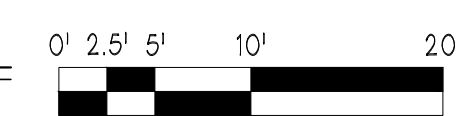
A RESIDENTIAL REMODEL & ADDITION
4029 MERCER ISLAND
AVINEET ATWAL
4029 97TH AVE SE
MERCER ISLAND, WA

**IMPERVIOUS SURFACE
CALCULATIONS AND
DIAGRAMS**

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

C1.3

IMPERVIOUS SURFACE CALCULATIONS AND DIAGRAMS



CLEARING AND GRADING STANDARD NOTES

1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF MERCER ISLAND CLEARING & GRADING CODE; CLEARING & GRADING EROSION CONTROL STANDARD; LAND USE CODE; UNIFORM BUILDING CODE; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENT. ANY VARIANCE FROM ADOPTED EROSION STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS AND COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION.

IT IS THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS WILL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES, AND GEOGRID REINFORCED MODULAR BLOCK WALLS MUST BE STAMPED BY A PROFESSIONAL ENGINEER.

2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

4. THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING & GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.

5. A REINFORCED SILT FENCE MUST BE INSTALLED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING & GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.

6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED. THIS PAD MUST REMAIN IN THE PLACE UNTIL PAVING IS INSTALLED.

7. CLEARING WILL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30. FROM MAY THROUGH SEPTEMBER 30, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.

8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON THE PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIALS MUST APPROVED BY THE CLEARING & GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPIILING.

9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ARE REQUIRED:

- * PRESERVED NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING & GRADING INSPECTOR.
- * PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING & GRADING INSPECTOR.
- * INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING & GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
- * INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ON -SITE.

10. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT MINIMUM 2% SLOPE, PER UNIFORM BUILDING CODE.

11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON - SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.

12. A PUBLIC INFORMATION SIGN LISTING 24-HOUR EMERGENCY NUMBER FOR THE CITY AND THE CONTRACTOR MAY BE PROVIDED TO THE APPLICANT AT THE TIME THE CLEARING & GRADING PERMIT IS ISSUED. THE APPLICANT MUST POST THE SIGN AT THE PROJECT SITE IN FULL VIEW OF THE PUBLIC AND THE CONTRACTORS, AND IT MUST REMAIN POSTED UNTIL FINAL SIGN -OFF BY THE CLEARING & GRADING INSPECTOR.

13. TURBIDITY MONITORING MAY BE REQUIRED AS A OF CLEARING & GRADING PERMIT APPROVAL. IF REQUIRED, MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING & GRADING INSPECTOR. MONITORING MUST DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN - OFF BY THE CLEARING & GRADING INSPECTOR.

14. ANY PROJECT THAT IS SUBJECTED TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING & GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30.

RESTORATION NOTES

- 1) Surface restoration of existing asphalt pavement shall be as required by the right-of-way use permit.
- 2) The Contractor shall restore the Right-of-Way and existing public storm drainage easement(s) after construction to a condition equal or better than condition prior to entry. The Contractor shall furnish a signed release from all affected property owners after restoration has been completed.

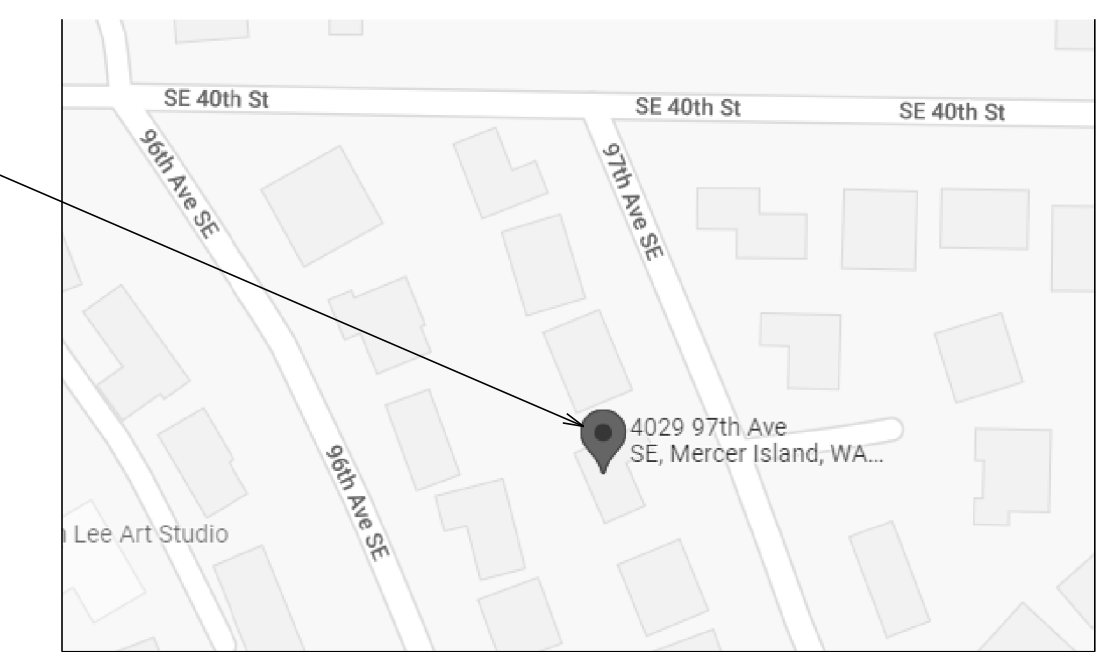
FIELD BOOK: _____
 SURVEYED: _____
 SURVEY BASE MAP: _____
 DESIGN ENTERED: **J.W**
 DESIGNED: **S.W**
 CHECKED: **S.W**



TANDEM ENGINEERING CONSULTANT INC
8822 NE 178TH ST
BOTHELL, WA 98011
(206) 795-5674

GENERAL NOTES

PROPOSED PROJECT SITE



VICINITY MAP

NTS

UTILITY NOTES

- 1) The locations of all existing utilities shown hereon have been established by field survey or obtained from available records and should therefore be considered approximate only and not necessarily complete. It is the sole responsibility of the excavator to independently verify the accuracy of all utility locations shown, and to further discover and avoid any other utilities not shown here on which may be affected by the implementation of this plan. Immediately notify the responsible Professional Engineer if a conflict exists.
- 2) Call 1-800-424-5555, or 8-1-1, 72 hours before construction for utility locates.
- 3) The Contractor shall maintain a minimum of five feet (5) horizontal separation between all water and storm drainage lines. Any conflict shall be reported to the Utility and the Professional Engineer prior to construction.
- 4) Avoid crossing water or sewer mains at highly acute angles. The smallest angle measure between utilities should be 45 degrees.
- 5) It shall be the Contractors responsibility to ensure that no conflicts exist between storm drainage lines and proposed or existing utilities prior to construction.
- 6) At points where existing thrust blocking is found, minimum clearance between concrete blocking and other buried utilities or structures shall be 5 feet.
- 7) Where a new utility line crosses below an existing AC main, the AC pipe shall be replaced with DI pipe to 3 feet past each side of the trench as shown on Standard Detail W-8. Alternatively, where directed by the Utility, the trench shall be backfilled with controlled density fill (CDF, aka flowable fill) from bottom of trench to bottom of AC main.

STORM DRAINAGE NOTES

- 1) Storm pipe shall be PVC conforming to ASTM D-3034 SDR35 or ASTM F-679. Bedding and backfill shall be as shown in the Standard Details.
- 2) The footing drainage system and the roof downspout system shall not be interconnected and shall separately convey collected flows to the conveyance system or to on-site storm water facilities.
- 3) Prior to final inspection and acceptance of storm drainage work, pipes and storm drain structures shall be cleaned and flushed. Any obstructions to flow within the storm drain system, (such as rubble, mortar and wedged debris), shall be removed at the nearest structure. Wash water of any sort shall not be discharged to the storm drain system or surface waters.
- 4) Ends of each storm drain stub at the property line shall be capped and located with an 8" long 2" x 4" board, embedded to the stub cap and extending at least 3 feet above grade, and marked permanently "STORM". A copper 12 ga. locate wire firmly attached. The stub depth shall be indicated on the marker.
- 5) All grates in roadways shall be ductile iron, bolt-locking, vane grates per the Standard Details. Structures in traffic lanes outside of the curb line which do not collect runoff shall be fitted with round, bolt-locking solid covers. Off-street structures which do not collect runoff shall be fitted with bolt-locking solid covers.
- 6) Vegetation/landscaping in the detention pond, bioretention facility, vegetated roof and/or drainage swale(s) are an integral part of the runoff treatment system for the project. Such drainage facilities will not be accepted until plantings are established.
- 7) All new manholes shall have a minimum inside diameter of 48" and shall conform to the Standard Details. All new catch basins shall conform to the Standard Details.
- 8) Side storm stations are referenced from nearest downstream manhole/ catch basin.
- 9) All testing and connections to existing mains shall be done in the presence of a representative of the City of Mercer Island Utilities Department.
- 10) All public storm drains shall be air tested and have a video inspection performed prior to acceptance (see #23 below). Storm main constructed with flexible pipe shall be deflection tested with a mandrel prior to acceptance.
- 11) Storm stubs shall be tested for acceptance at the same time the main storm is tested.
- 12) All manholes/ catch basins in unpaved areas shall include a concrete seal around adjustment rings per Standard Details.
- 13) All storm main extensions within the public right-of-way or in easements must be staked by a surveyor licensed in Washington State for line and grade and cut sheets provided to the Professional Engineer, prior to starting construction.
- 14) Storm drainage mainlines, stubs and fittings shall be constructed using the same pipe material and manufacturer. Connections between stubs and the mainline will be made with a tee fitting. Tee fitting shall be from same manufacturer as pipe. Cut-in connections are only allowed when connecting a new stub to an existing mainline.
- 15) Manholes, catch basins and vaults are considered to be permit-required confined spaces. Entry into these spaces shall be in accordance with Chapter 296-809 WAC.
- 16) Placement of surface appurtenances (MH lids, valve lids, etc.) in tire tracks of traffic lanes shall be avoided whenever possible.
- 17) The Contractor shall perform a video inspection and provide a DVD of the storm pipe interior for the City's review. The video shall provide a minimum of 14 lines per millimeter resolution and cover the entire length of the applicable pipe. The camera shall be moved through the pipe at a uniform rate (≈30 ft/min), stopping when necessary to ensure proper documentation of the pipe condition. The video shall be taken after installation and cleaning to insure that no defects exist. The project will not be accepted until all defects have been repaired.
- 18) Clearly label public and private systems on the plans. Private systems shall be marked private and shall be maintained by the property owner(s).
- 19) All concrete structures (vaults, catch basins, manholes, oil/water separators, etc.) shall be vacuum tested.
- 20) Manholes, catch basins and inlets in easements shall be constructed to provide a stable, level grade for a minimum radius of 2.5 feet around the center of the access opening to accommodate confined space entry equipment.
- 21) Tops of manholes/ catch basins within public right-of-way shall not be adjusted to final grade until after paving.
- 22) Contractor shall adjust all manhole/ catch basin rims to flush with final finished grades, unless otherwise shown.
- 23) Contractor shall install, at all connections to existing downstream manholes/catch basins, screens or plugs to prevent foreign materials from entering existing storm drainage system. Screens or plugs shall remain in place throughout the duration of the construction and shall be removed along with collected debris at the time of final inspection and in the presence of a representative of the City of Bellevue Utilities Department.
- 24) Before commencement of trenching, the Contractor shall provide filter fabric for all downhill storm drain inlets and catch basins, which will receive runoff from the project site. The contractor shall periodically inspect the condition of all filter fabric and replace as necessary.
- 25) Minimum cover over storm drainage pipe shall be 2 feet, unless otherwise shown.
- 26) Redirect sheet flow, block drain inlets and/or curb openings in pavement and install flow diversion measures to prevent construction silt laden runoff and debris from entering excavations and finish surfaces for bioretention facilities and permeable pavements.
- 27) Where amended soils, bioretention facilities, and permeable pavements are installed, these areas shall be protected at all times from being over-compacted. If areas become compacted, remediate and till soil in accordance with the City's Project Representatives requirements at no additional cost in order to restore the systems ability to infiltrate.

LEGAL DESCRIPTION

MERCER WOOD ADD

PARCEL NUMBER: 5456000020

PROPERTY OWNER: **ATWAL AVNEET SINGH & GHUMMAN**
4029 97TH AVE SE
MERCER ISLAND, WA 98040

PROJECT ENGINEER: **STEVE WU**
8822 NE 178TH ST
BOTHELL, WA 98011
TEL:206-795-5674

ATWAL'S RESIDENCE
4029 97TH AVE SE
MERCER ISLAND WA 98040

SHEET
1
 OF
4
 SHEETS

C-1.00

GENERAL TESC NOTES

Temporary erosion and sedimentation control facilities (TESC) (including but not limited to temporary construction entrance, catch basin protection, silt fence installation, interceptor ditches, sedimentation ponds and straw bales) must be in place and Inspected by the City of Mercer Island prior to demolition, clearing/grading, etc. Spoil piles shall be kept covered. All City streets shall be kept free of mud and construction debris. TESC facilities shall be maintained until final landscaping is completed. No sediment-laden water shall enter Lake Washington, the public storm drain system, water courses, sensitive areas or the adjacent properties. Not all of these facilities may be identified on this plan but may be required during construction. Contractor will adhere to additional requirements as conditions warrant and the project progresses, including cleaning of downstream catch basins and drainage facilities of sediment from this project.

PLAN NOTES

- Approval of this temporary erosion and sedimentation control (TESC) plan does not constitute an approval of permanent road or drainage design.
- The implementation of these TESC plans and the construction, maintenance, replacement, and upgrading of these TESC facilities is the responsibility of the owner/agent and/or their contractor until all construction is approved.
- The boundaries of the clearing limits shown on this plan shall be clearly flagged by a continuous length of survey tape (or fencing, if required) prior to construction. During the construction period, no disturbance beyond the clearing limits shall be permitted. The clearing limits shall be maintained by the owner/agent and/or their contractor for the duration of construction.
- The TESC facilities shown on this plan must be constructed prior to or in conjunction with all clearing and grading so as to ensure that the transport of sediment to surface waters, drainage systems, and adjacent properties is minimized.
- The TESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these TESC facilities shall be upgraded as needed for unexpected storm events and modified to account for changing site conditions (e.g., additional sump pumps, relocation of ditches, hay bales and silt fences, etc.).
- The TESC facilities shall be inspected daily by the owner/agent and/or their contractor and maintained to ensure continued proper functioning. Written records shall be kept of weekly reviews of the TESC facilities during the wet season (Oct. 1 to April 30) and of monthly reviews during the dry season (May 1 to Sept. 30).
- Any areas of exposed soils, including roadway embankments, that will not be disturbed for two days during the wet season (Oct. 1 to April 30) or seven days during the dry season (May 1 to Sept. 30), shall be immediately stabilized with approved TESC methods (e.g., seeding, mulching, plastic cover, etc.).
- Any area needing TESC measures that do not require immediate attention shall be addressed within fifteen (15) days.
- The TESC facilities on inactive sites shall be inspected and maintained a minimum of once a month or within forty-eight (48) hours following a storm event.
- At no time shall more than one (1) foot of sediment be allowed to accumulate within a catch basin. All catch basins and conveyance lines shall be cleaned prior to final grading and/or paving. The cleaning operation shall not flush sediment-laden water into the downstream system.
- Stabilized construction entrances and roads shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures, such as wash pads and sediment traps, may be required to ensure that all paved areas are kept clean for the duration of the project.
- Any permanent flow control facility used as a temporary settling basin shall be modified with the necessary temporary erosion control measures and shall provide adequate storage capacity.
- Where straw mulch for temporary erosion control is required, it shall be applied at a minimum thickness of 2 to 3 inches.
- Prior to the beginning of the wet season (Oct. 1), all disturbed areas shall be reviewed to identify which ones can be seeded in preparation for the winter rains. Disturbed areas shall be seeded within one week of the beginning of the wet season. The City can require seeding of additional areas in order to protect surface waters, adjacent properties, or drainage facilities.

Construction Sequence:

- Hold an onsite pre-construction meeting.
- Flag or fence clearing limits.
- Install catch basin protection, if required.
- Grade and install construction entrance(s).
- Install perimeter protection (silt fence, brush barrier, etc.).
- Construct sediment pond(s) and/or trap(s).
- Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
- Maintain TESC measures in accordance with City standards and manufacturer's recommendations.
- Relocate surface water controls or TESC measures, or install new measures so that as site conditions change, the TESC is always in accordance with the City of Mercer Island Temporary Erosion and Sedimentation Control Requirements.
- Cover all areas that will be un-worked for more than two days during the wet season (Oct. 1 to April 30) or seven days during the dry season (May 1 to Sept. 30) with straw, wood fiber mulch, compost, plastic sheeting, or equivalent.
- Stabilize all areas within seven days of reaching final grade.
- Seed or sod any areas to remain un-worked for more than 30 days.
- Upon completion of the project, stabilize all disturbed areas and remove TESC measures if appropriate.

Reference: King County Surface Water Design Manual Appendix D - 10.3

TREE PROTECTION NOTES

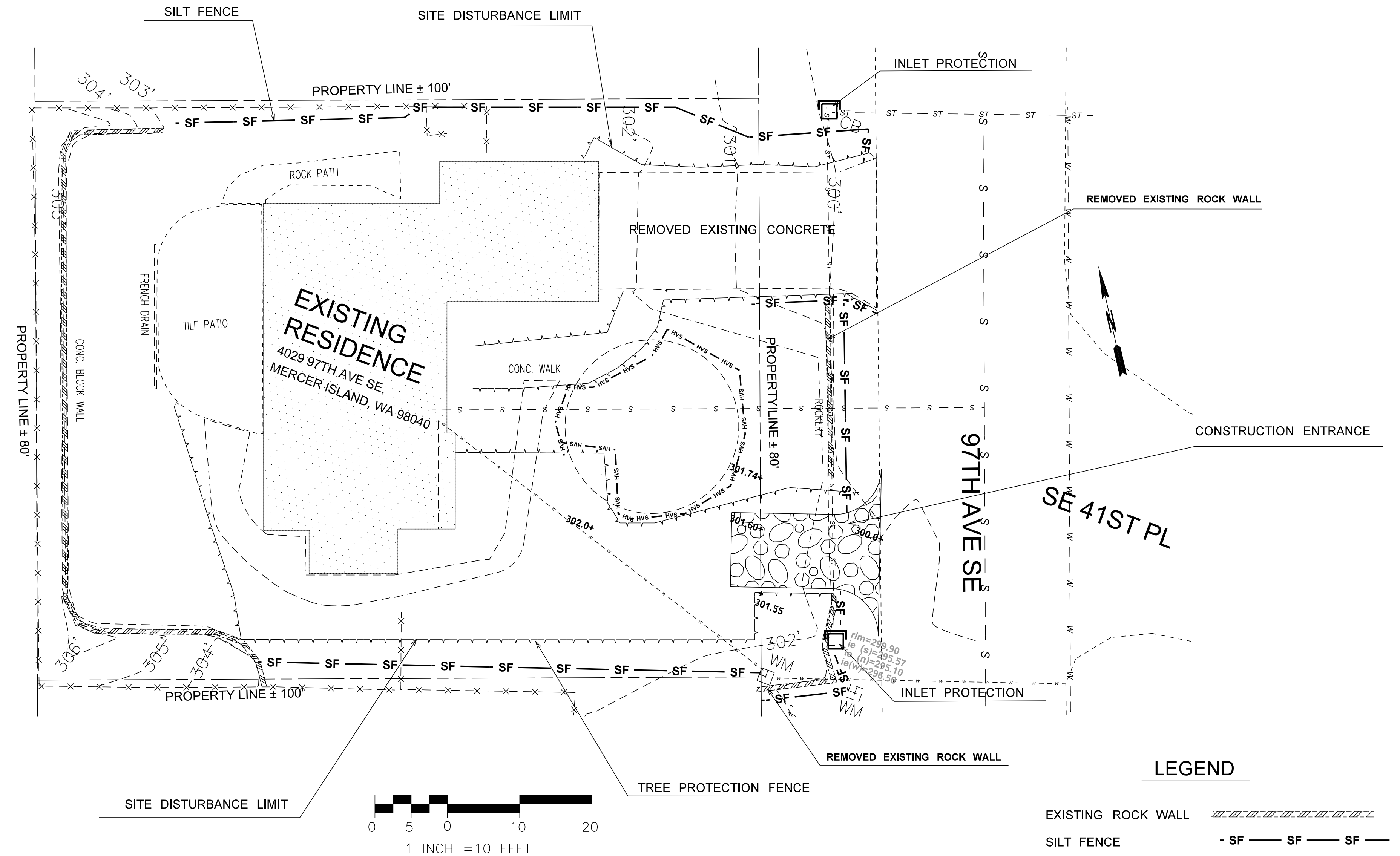
Avoid the following conditions during construction:

- Allowing run off or spillage of damaging materials into the approved Tree Protected Zone.
- Storing construction materials or portable toilets, stockpiling of soil, or parking or driving vehicles within the TPZ.
- Cutting, breaking, skinning, or bruising roots, branches, or trunks without first obtaining authorization from the Project Arborist.
- Discharging exhaust into foliage.
- Securing cable, chain, or rope to trees or shrubs.
- Trenching, digging, tunneling or otherwise excavating within the TPZ of the tree(s) without first obtaining authorization from the Project Arborist. Periodically inspect during construction - at four-week intervals - to assess and monitor the effectiveness of the TPP and provide recommendations for any additional care or treatment. More frequent may be required based on the TPP.

The following activities should be observed and inspected by the project arborist during the construction phase to ensure compliance with the approved TPP:

- Only excavation by hand or compressed air shall be allowed within the TPZ of trees. Machine trenching shall not be allowed.

- In order to avoid injury to tree roots, when a trenching machine is being used outside of the TPZ of trees, and roots are encountered smaller than 2", the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. All exposed roots are to be protected with dampened burlap.
- Route pipes outside of the TPZ of a protected tree to avoid conflict with roots. Where it is not possible to reroute pipes or trenches, bore or tunnel beneath the TPZ of the tree. The boring shall take place not less than 3" below the surface of the soil in order to avoid encountering feeder roots. All boring equipment must be staged outside of the TPZ.
- All grade changes adjacent to the TPZ of a significant tree shall be supervised by the Project Arborist. Cuts or Fills of soil that are adjacent to the TPZ will have a retaining wall system designed in consultation with the Project Arborist and approved in writing by City Staff.
- Any damage due to construction activities shall be reported to the Project Arborist and City Staff within six hours so that remedial action can be taken.
- The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to City Staff as an issue of non-compliance.



EXPOSED & STOCKPILES SOIL BMP'S

All exposed and unworked soils shall be stabilized per the following criteria:
 From October 1 to April 30, no exposed and unworked soils shall remain unstabilized (exposed) for more than two days. Non-erodible, clean, granular base materials shall be applied to stabilize all trafficked areas.
 From May 1 to September 30, no exposed and unworked soils on slopes shall remain unstabilized (exposed) for more than seven days.
 Exposed and unworked soils will be stabilized with the application of effective BMPs to prevent erosion throughout the life of the project. The specific BMPs will be used on this project include:

- Preserving natural vegetation
- Sodding
- Topsoil
- Mulching
- Check dam
- Soil binding using polyacrylamide
- Wattles
- Biodegradable erosion control blanket
- Compost blanket
- Stabilized construction entrance
- Plastic covering
- Construction road stabilization
- Seeding and planting
- Dust Control
- Bonded Fiber Matrix
- Mechanically Bonded Fiber Matrix

Seeding and mulching will be used to stabilize soils throughout the project following excavation and grading as well as other disturbed areas. During dry weather construction periods, the contractor will provide project specific dust control measures, as needed. Cut and fill slopes will be stabilized as soon as possible and soil stockpiles will be temporarily covered with plastic sheeting to prevent short-term erosion. All stockpiled soils will be stabilized from erosion, protected with sediment trapping measures, and where possible, be located away from storm drain inlets, waterways, and drainage channels.



Know what's below. Call before you dig.

FIELD BOOK: _____
 SURVEYED: _____
 SURVEY BASE MAP: _____
 DESIGN ENTERED: **J.W**
 DESIGNED: **S.W**
 CHECKED: **S.W**



TANDEM ENGINEERING CONSULTANT INC
 8822 NE 178TH ST
 BOTHELL, WA 98011
 (206) 795-5674

TESC PLAN

ATWAL'S RESIDENCE
 4029 97TH AVE SE
 MERCER ISLAND WA 98040

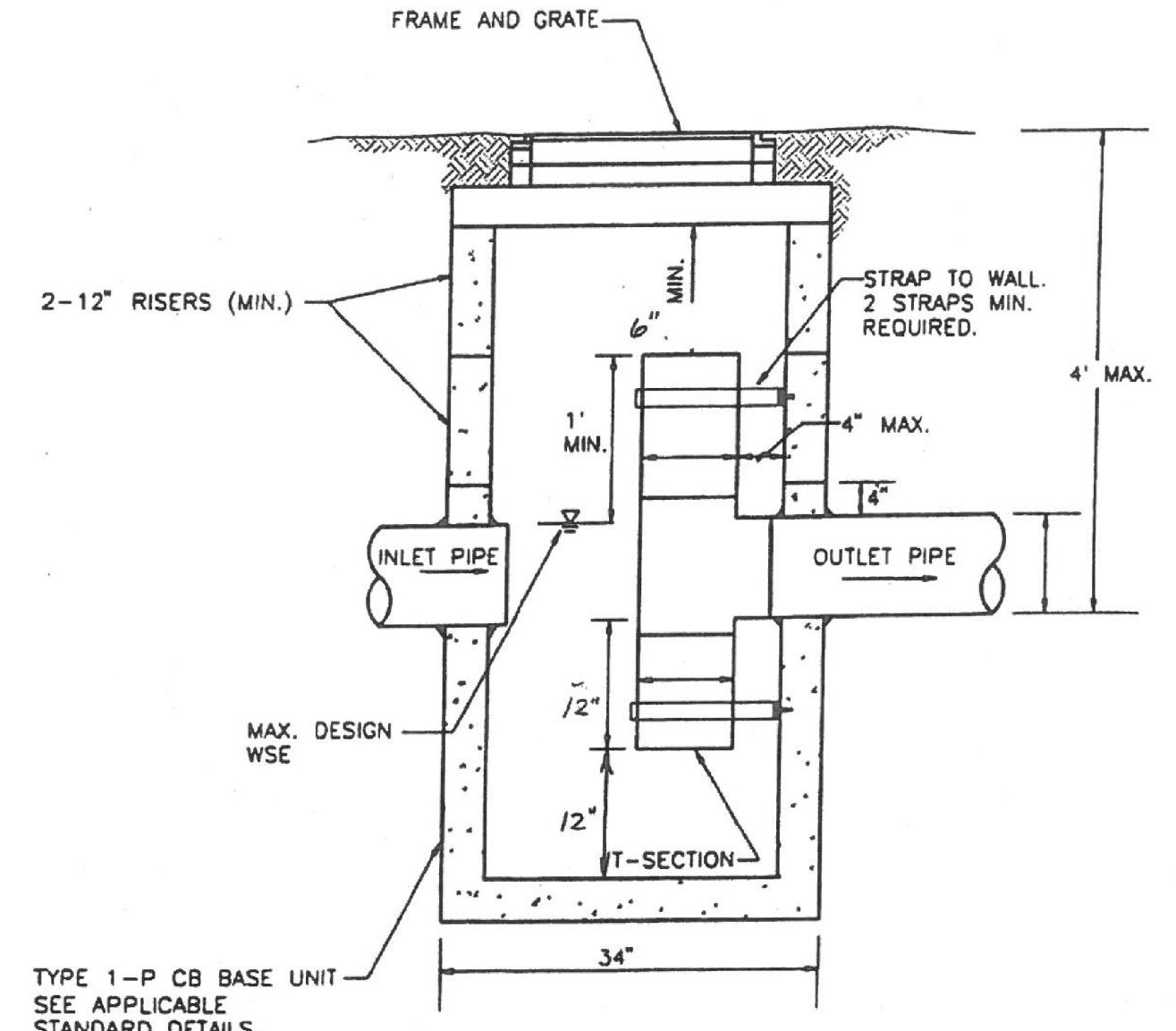
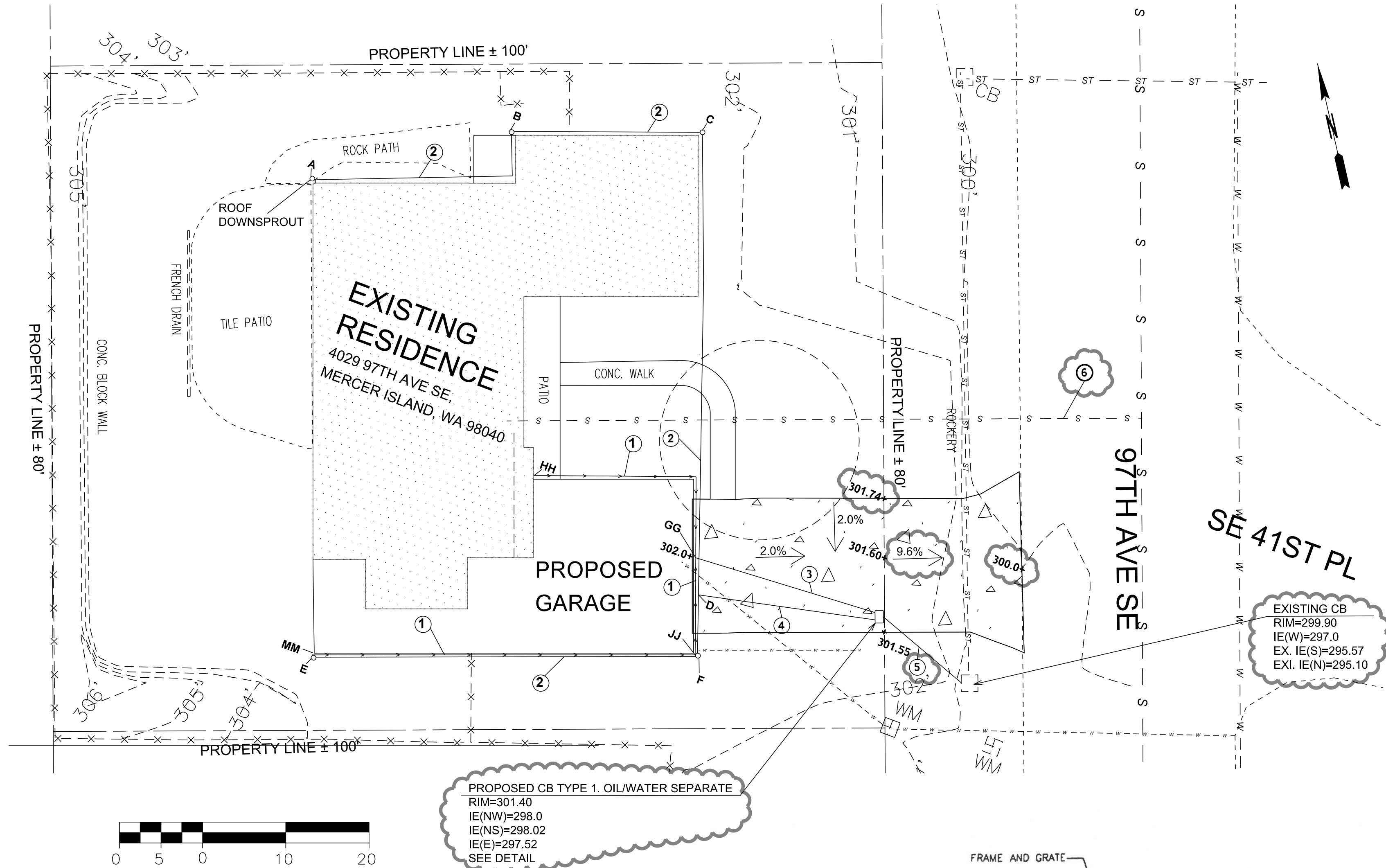
SHEET
2
 OF
4
 SHEETS

C-2.00

NOTE:
THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 97TH AVE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

ROOF DRAIN			
ELE.POINT	INVERT	LENGTH	S
A	300.84	30	2.0%
B	300.24	25	2.0%
C	299.74	64	2.0%
D	298.46	22	2.0%
CB	298.02		
E	300.0	46	4.0%
F	298.2	8	2.0%
D	298.02		

PERFORATED FOOTING DRAIN			
ELE.POINT	INVERT	LENGTH	S
MM	299.0	46	1%
JJ	298.5	12	1%
GG	298.4	23	2%
CB	298.0		
HH	299.0	30	
GG	298.4		2%



CATCH BASIN TYPE I WITH OIL/WATER SEPARATED
NTS



EXISTING UTILITIES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES TO AVOID CONFLICTS.

FIELD BOOK:	
SURVEYED:	
SURVEY BASE MAP:	
DESIGN ENTERED:	J.W
DESIGNED:	S.W
CHECKED:	S.W



TANDEM ENGINEERING CONSULTANT INC
8822 NE 178TH ST
BOTHELL, WA 98011
(206) 795-5674

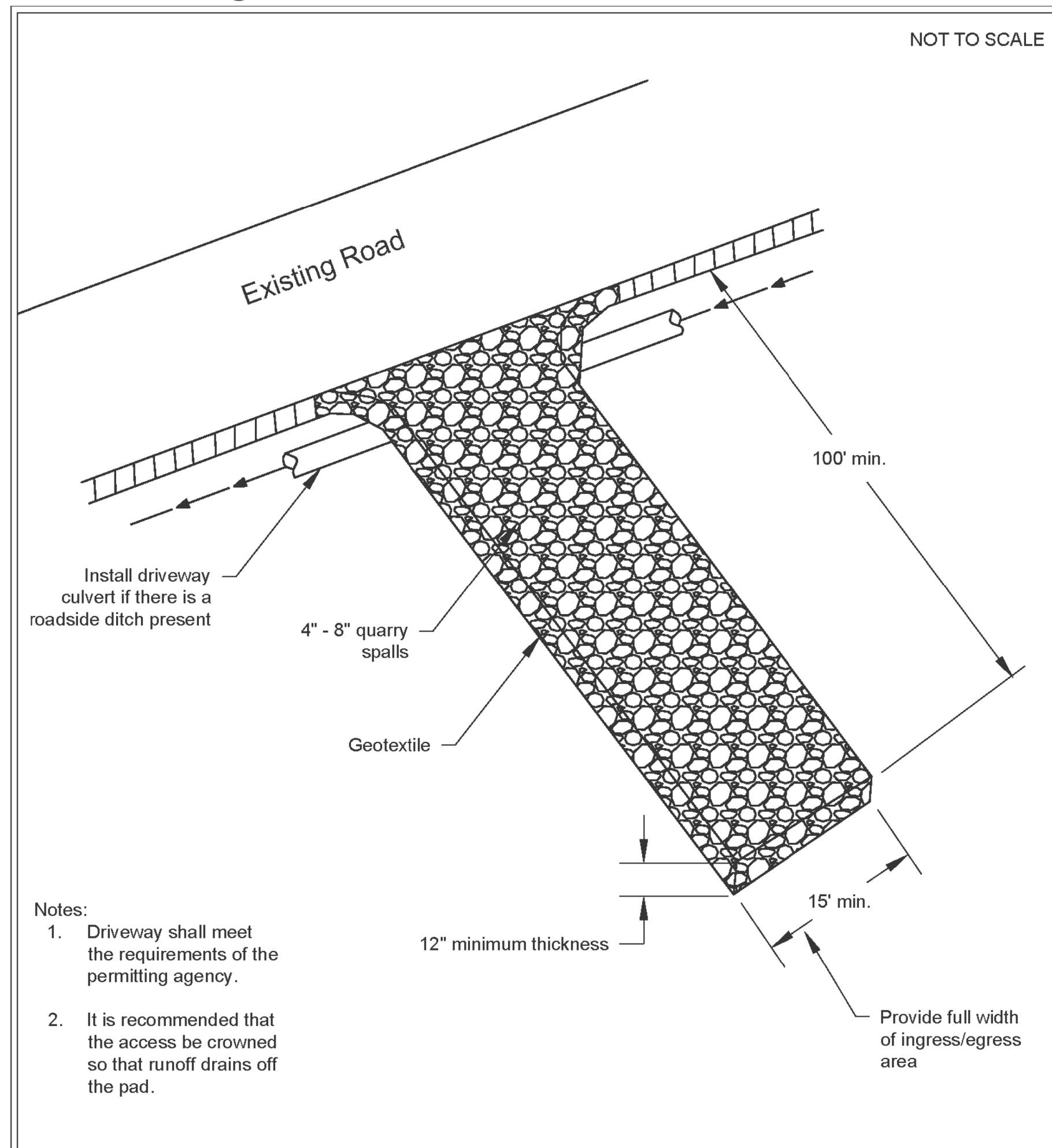
DRAINAGE & GRADATION PLAN

ATWAL'S RESIDENCE
4029 97TH AVE SE
MERCER ISLAND WA 98040

SHEET
3
OF
4
SHEETS

C-3.00

Figure II-3.1: Stabilized Construction Access

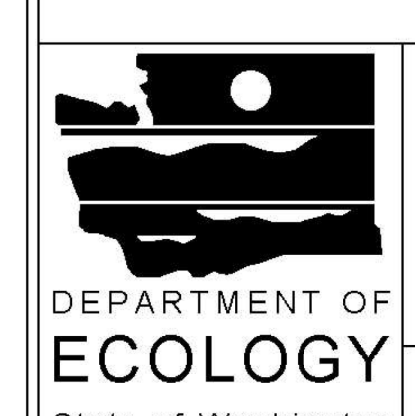
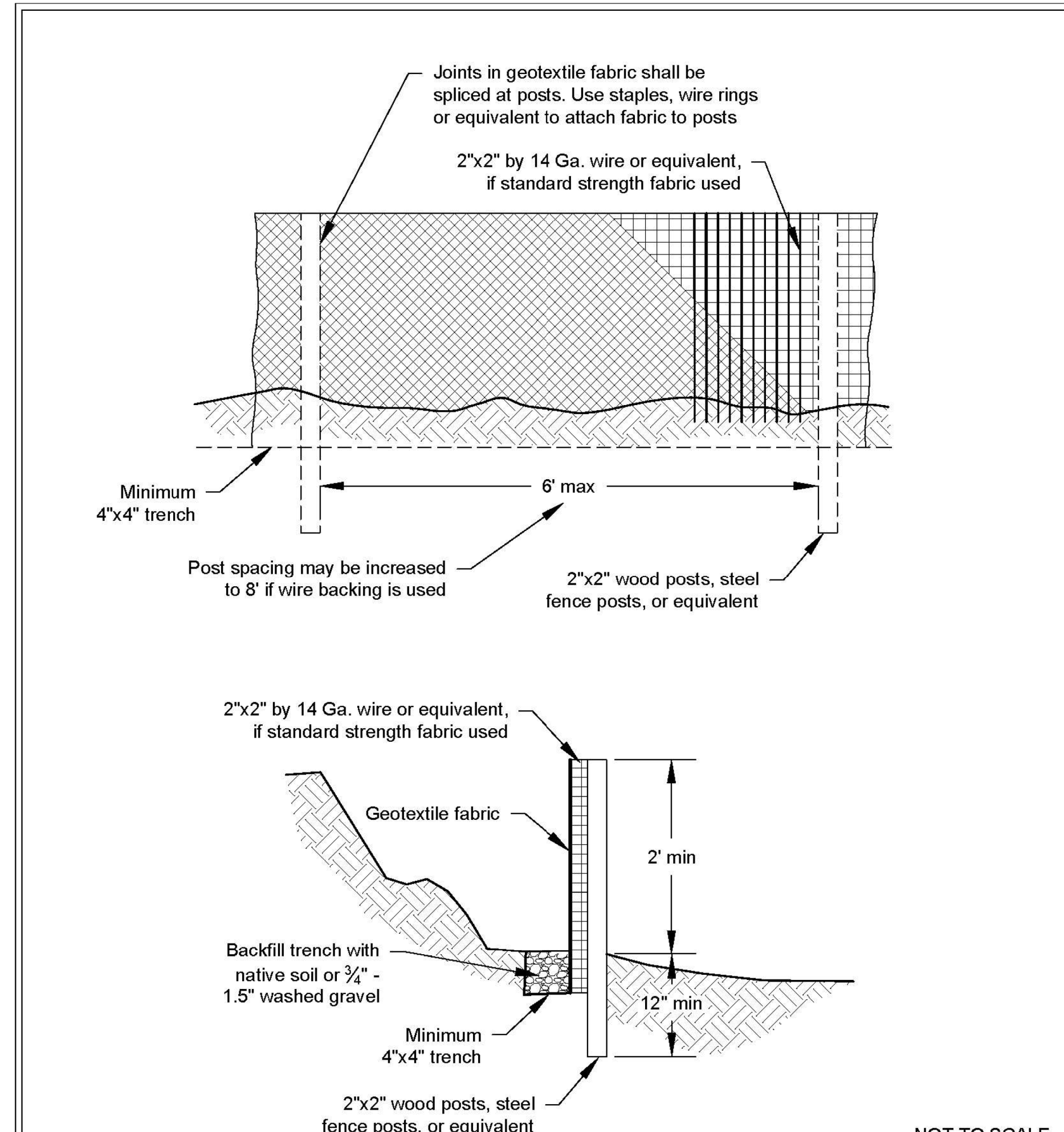


Stabilized Construction Access

Revised June 2018

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Figure II-3.22: Silt Fence



Silt Fence

Revised July 2017

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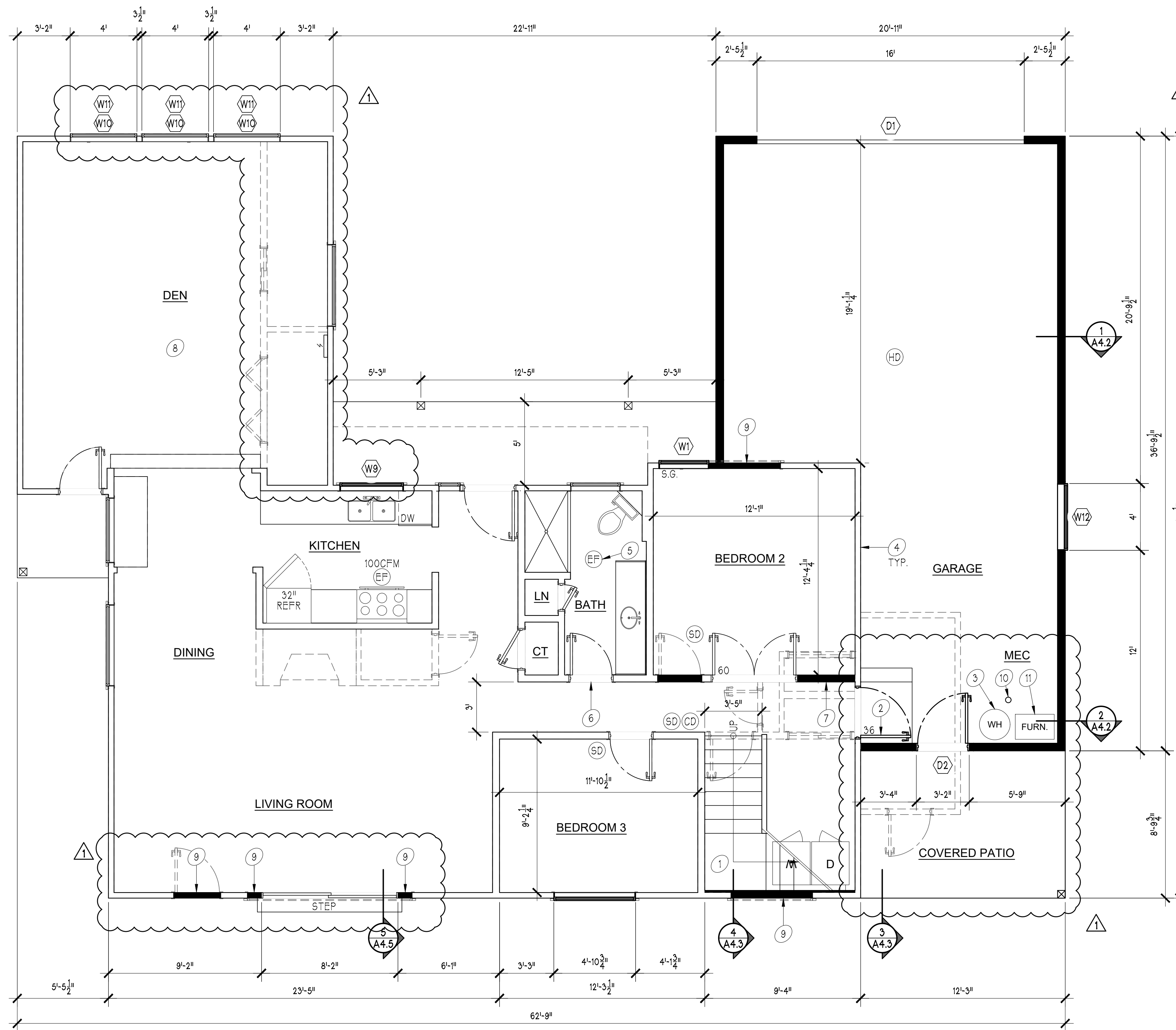
FIELD BOOK:	
SURVEYED:	
SURVEY BASE MAP:	
DESIGN ENTERED:	J.W
DESIGNED:	S.W
CHECKED:	S.W

DETAILS

ATWAL'S RESIDENCE
4029 97TH AVE SE
MERCER ISLAND WA 98040

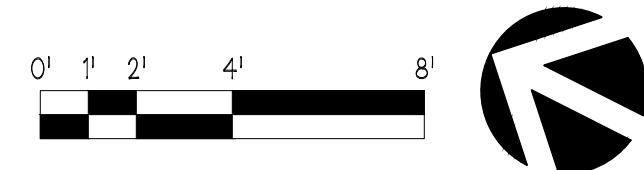
SHEET
4
OF
4
SHEETS

C-4.00



PROPOSED MAIN FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



PLAN KEYNOTES

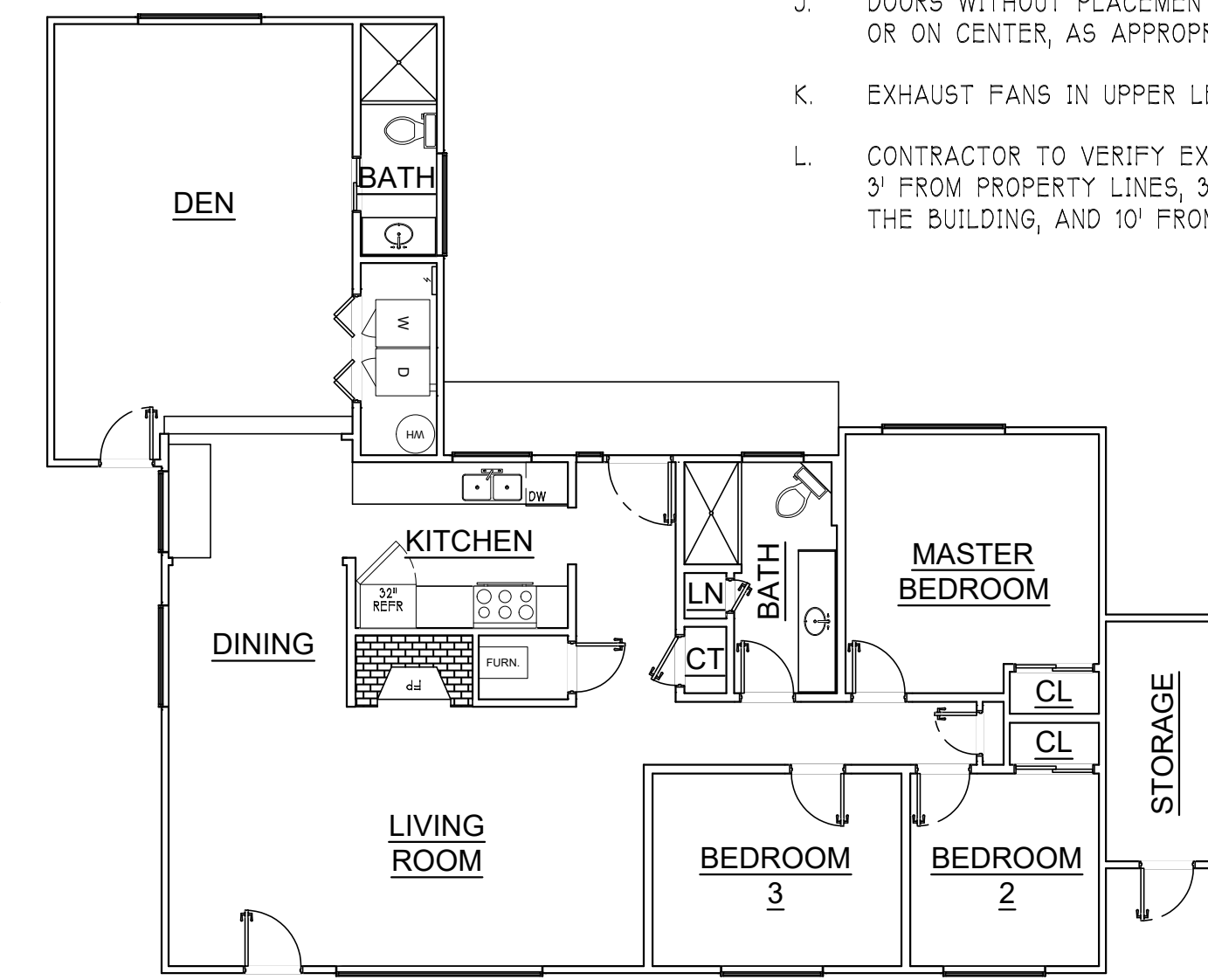
1. STAIR PER 5/A5.1
2. DOOR TO BE 1-3/8" SOLID-CORE WOOD, 1-3/8" SOLID OR HONEYCOMB STEEL, OR 20 MIN. RATED DOOR WITH A SELF-CLOSING DEVICE. SEE SHEET A1.1 FOR ADDITIONAL REQUIREMENT ON SEPARATION BETWEEN DWELLING AND GARAGE.
3. ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER I OF NEEA'S ADVANCED WATER HEATING SPECIFICATIONS.
4. MIN. 1/2" GYPSUM WALLBOARD AT GARAGE WALLS & 5/8" TYPE X GYPSUM BOARD ON CEILING SEPARATING THE GARAGE FROM THE DWELLING.
5. 75 CFM CONTINUOUS WHOLE HOUSE FAN AT 0.25" WATER GAUGE WITH A SONE RATING OF 1.0 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE. IF FAN IS TO BE INTERMITTENT, APPLY VENTILATION RATE FACTOR PER IRC M1507.3.3(2) ON PAGE A1.1
6. DOOR SHALL BE LOUVERED OR UNDERCUT TO A MINIMUM OF 1/2 INCH ABOVE THE SURFACE OF THE FINISH FLOOR COVERING.
7. NEW INTERIOR STUD WALL PER 1/A5.1
8. DEN TO ELEVATED ROOF ASSEMBLY PER STRUCTURAL PLANS.
9. INFILLED WINDOW/DOOR PER 4/A5.1
10. VEHICLE BOLLARD.
11. AIR-SOURCE CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 9.5.

LEGEND

- NEW STUD WALL.
- EXISTING WALL TO REMAIN
- INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.
- HEAT DETECTOR. TO BE CONNECTED TO ALARM SYSTEM OR SMOKE DETECTOR WITHIN DWELLING.
- EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O.
- SEE DOOR AND WINDOW SCHEDULE ON SHEET A1.1 FOR DETAILED INFO. SEE 2/A5.1 FOR FRAMING INFO & 3/A5.1 FOR INSULATION INFO.
- WINDOW TO BE SAFETY GLAZING

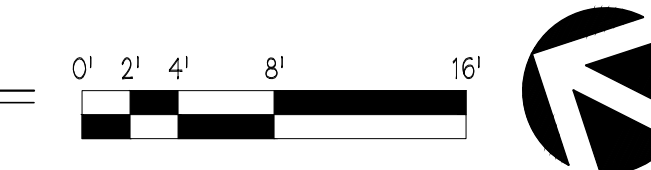
GENERAL NOTES

- A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.
- B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL EXISTING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS AFTER CEILING WALL COVERINGS ARE REMOVED.
- C. SEE SHEET A1.1 FOR COMMON CODE REQUIREMENTS.
- D. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS. CO DETECTORS TO BE INTERCONNECTED.
- E. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED. SMOKE DETECTORS TO BE INTERCONNECTED.
- F. VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
- G. ALL DIMENSIONS TO STUD WALL.
- H. CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- I. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.
- J. DOORS WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL OR ON CENTER, AS APPROPRIATE.
- K. EXHAUST FANS IN UPPER LEVEL TO BE VENTED THROUGH ROOF.
- L. CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.

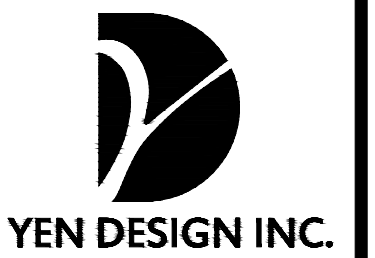


EXISTING MAIN FLOOR PLAN

22x34: SCALE 1/8" = 1'-0"
 11x17: SCALE 1/16" = 1'-0"



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1



206.432.1111
 WWW.YENDES.COM

APPROVAL STAMP

ENGINEER STAMP

A RESIDENTIAL REMODEL & ADDITION
4029 MERCER ISLAND
 AVNEET ATWAL
 4029 97TH AVE SE
 MERCER ISLAND, WA

MAIN FLOOR PLANS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A2.1

PLAN KEYNOTES

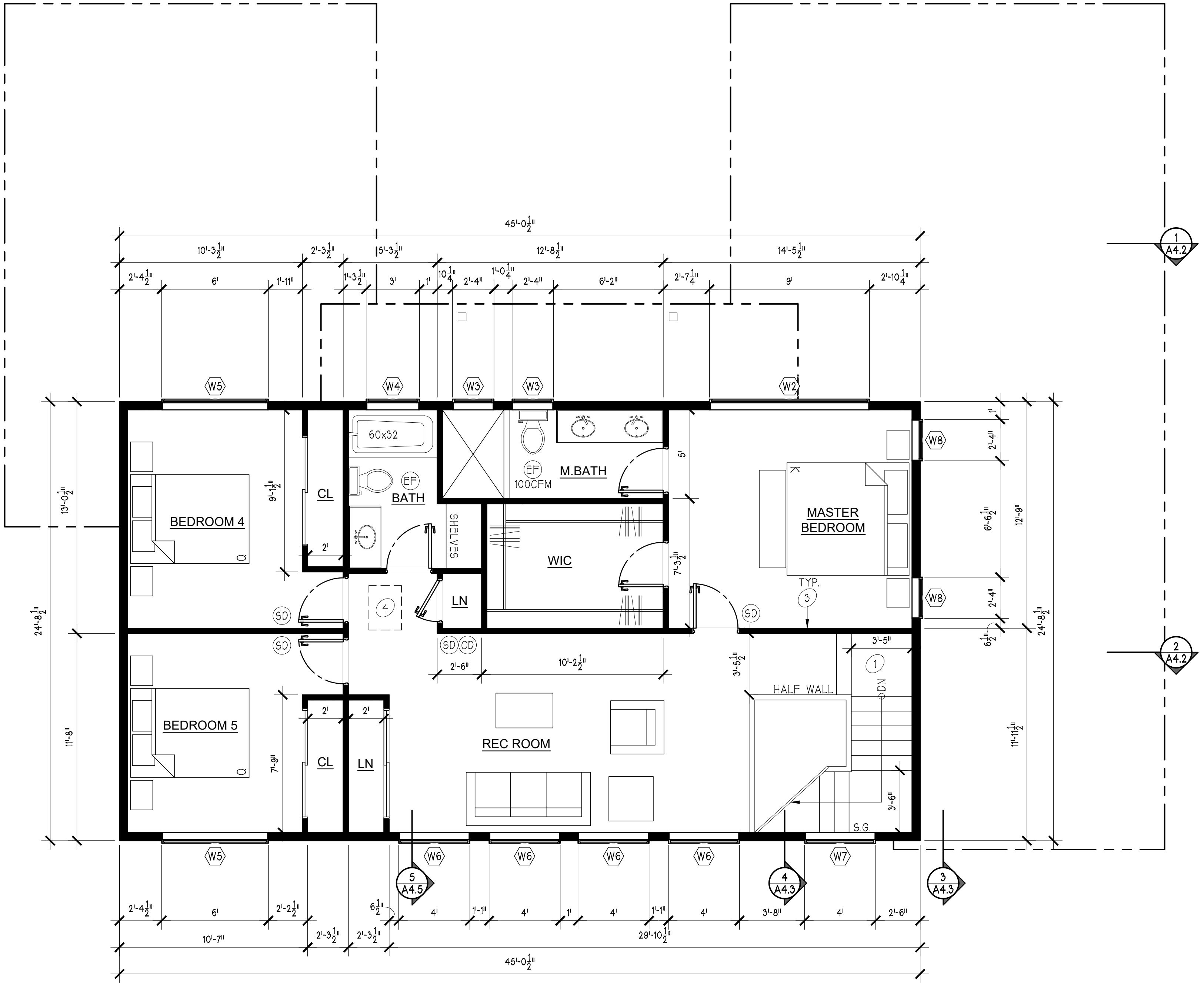
- 1. STAIR PER 5/A5.1
- 2. UNUSED.
- 3. NEW INTERIOR STUD WALL PER 1/A5.1
- 4. ATTIC ACCESS DOOR TO BE A MIN OF 22"X30"

LEGEND

- NEW STUD WALL.
- ROOF OUTLINE BELOW
- INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.
- HEAT DETECTOR TO BE CONNECTED TO ALARM SYSTEM OR SMOKE DETECTOR WITHIN DWELLING.
- EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O.
- SEE DOOR AND WINDOW SCHEDULE ON SHEET A11 FOR DETAILED INFO. SEE 1/A5.1 FOR FRAMING INFO & 3/A5.1 FOR INSULATION INFO.
- WINDOW TO BE SAFETY GLAZING

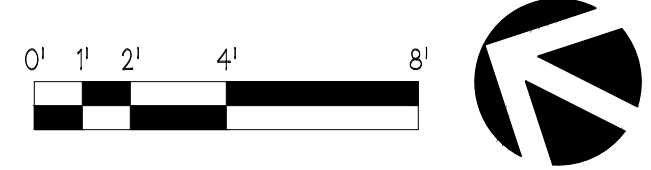
GENERAL NOTES

- A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.
- B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL EXISTING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS AFTER CEILING WALL COVERINGS ARE REMOVED.
- C. SEE SHEET A11 FOR COMMON CODE REQUIREMENTS.
- D. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS. CO DETECTORS TO BE INTERCONNECTED.
- E. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED. SMOKE DETECTORS TO BE INTERCONNECTED.
- F. VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
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- H. CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- I. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.
- J. DOORS WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL OR ON CENTER, AS APPROPRIATE.
- K. EXHAUST FANS IN UPPER LEVEL TO BE VENTED THROUGH ROOF.
- L. CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.

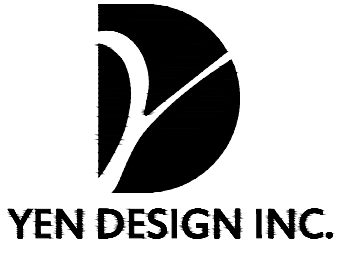


PROPOSED UPPER FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1



206.432.1111
 WWW.YENDES.COM

APPROVAL STAMP

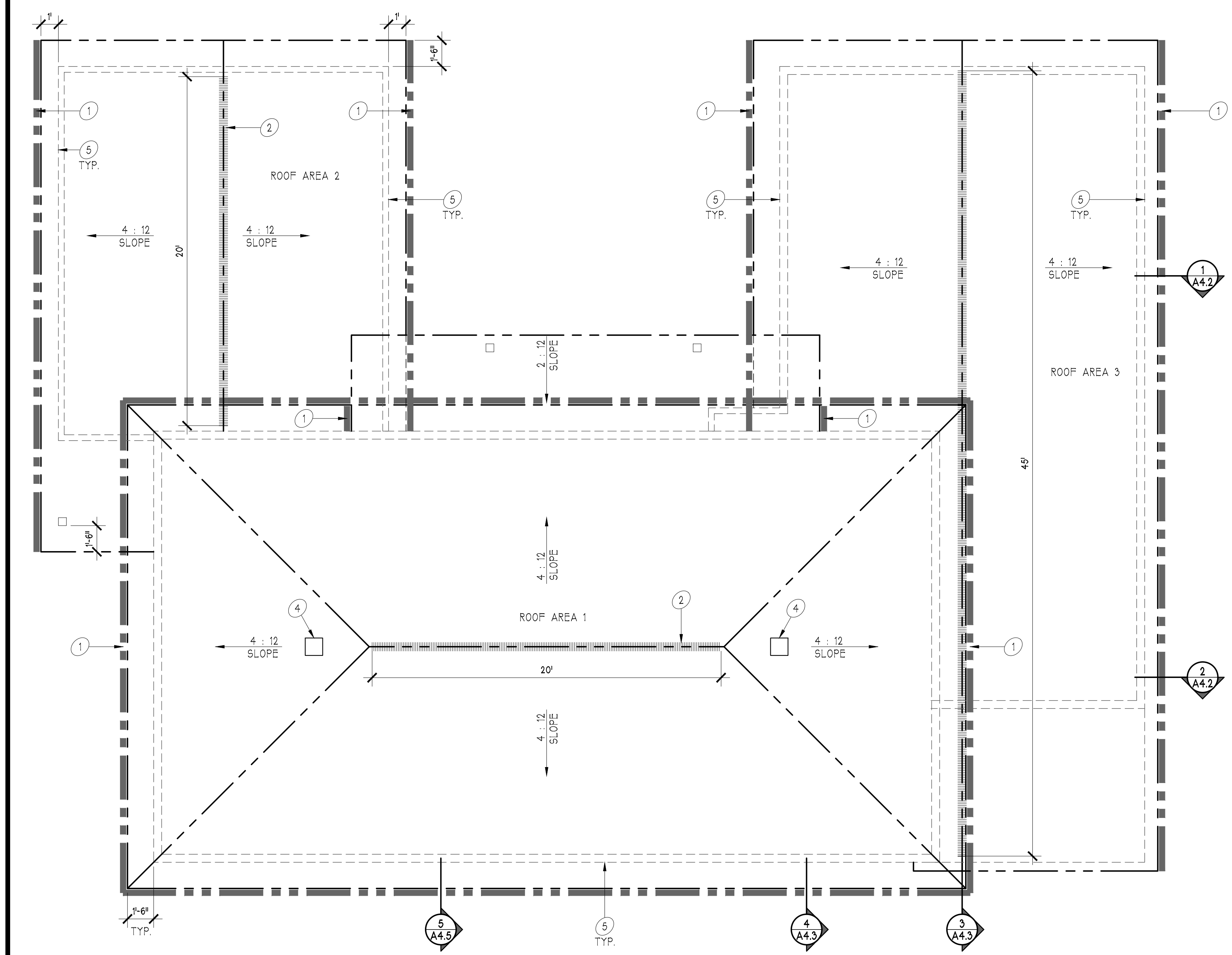
ENGINEER STAMP

A RESIDENTIAL REMODEL & ADDITION
4029 MERCER ISLAND
 AVNEET ATWAL
 4029 97TH AVE SE
 MERCER ISLAND, WA

UPPER FLOOR PLAN

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A2.2



PLAN KEYNOTES

1. DOWN SPOUT LOCATION. SEE DWC PLAN FOR MORE INFO.
2. (20 LINEAR FT) RIDGE EXHAUST VENT LOCATION. INSTALLATION PER MANUFACTURER'S SPECIFICATION. (6 SQ-IN NFVA PER LINEAR FOOT = 120 TOTAL)
3. (45 LINEAR FT) RIDGE EXHAUST VENT LOCATION. INSTALLATION PER MANUFACTURER'S SPECIFICATION. (6 SQ-IN NFVA PER LINEAR FOOT = 270 TOTAL)
4. REQUIRED PV-14-C1-BL ROOF VENT WITH A MIN NET CLEAR OPENING OF 144 SQ-IN
5. PROVIDE VENTED BLOCKS AT OVERHANGS IN EACH BAY. (3) 2" HOLES IN EACH BLOCK.

LEGEND

- STRUCTURE BELOW
- ROOF LINE
- GUTTER
- ROOF VENT
- ⊕ # INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION

GENERAL NOTES

- A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.
- B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL EXISTING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS AFTER CEILING WALL COVERINGS ARE REMOVED.
- C. SEE SHEET A11 FOR COMMON CODE REQUIREMENTS.
- D. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS. CO DETECTORS TO BE INTERCONNECTED.
- E. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED. SMOKE DETECTORS TO BE INTERCONNECTED.
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- K. EXHAUST FANS IN UPPER LEVEL TO BE VENTED THROUGH ROOF.
- L. CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.

ROOF VENT CALC.

ROOF AREA 1:
 $\frac{110 \text{ SQ-FT}}{300 \text{ SQ-FT}} = 3.71 \text{ SQ-FT OR } 535 \text{ SQ-IN OF NET CLEAR AREA ATTIC ATTIC VENTILATION.}$

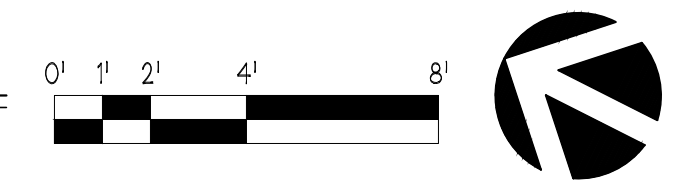
ROOF AREA 2:
 $\frac{388 \text{ SQ-FT}}{300 \text{ SQ-FT}} = 1.33 \text{ SQ-FT OR } 192 \text{ SQ-IN OF NET CLEAR AREA ATTIC ATTIC VENTILATION.}$

ROOF AREA 3:
 $\frac{723 \text{ SQ-FT}}{300 \text{ SQ-FT}} = 2.44 \text{ SQ-FT OR } 352 \text{ SQ-IN OF NET CLEAR AREA ATTIC ATTIC VENTILATION.}$

VENTILATION OF ALL BAY SPACES OVER HEATED AREAS TO BE DISTRIBUTED AS SUCH:
 1/2 GABLE, ROOF JACK, OR RIDGE VENTING
 1/2 BIRD BLOCK OR SOFFIT VENTING.

PROPOSED ROOF PLAN

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
1	08.10.23	CORRECTION RESPONSE 1

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ROOF PLAN

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A2.3



NORTH-EAST ELEVATION

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



SOUTH-WEST ELEVATION

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"

REV	DATE	DESCRIPTION
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ELEVATIONS

JOB NO. 21-0405

HALF SCALE 11x17

FULL SCALE 22x34

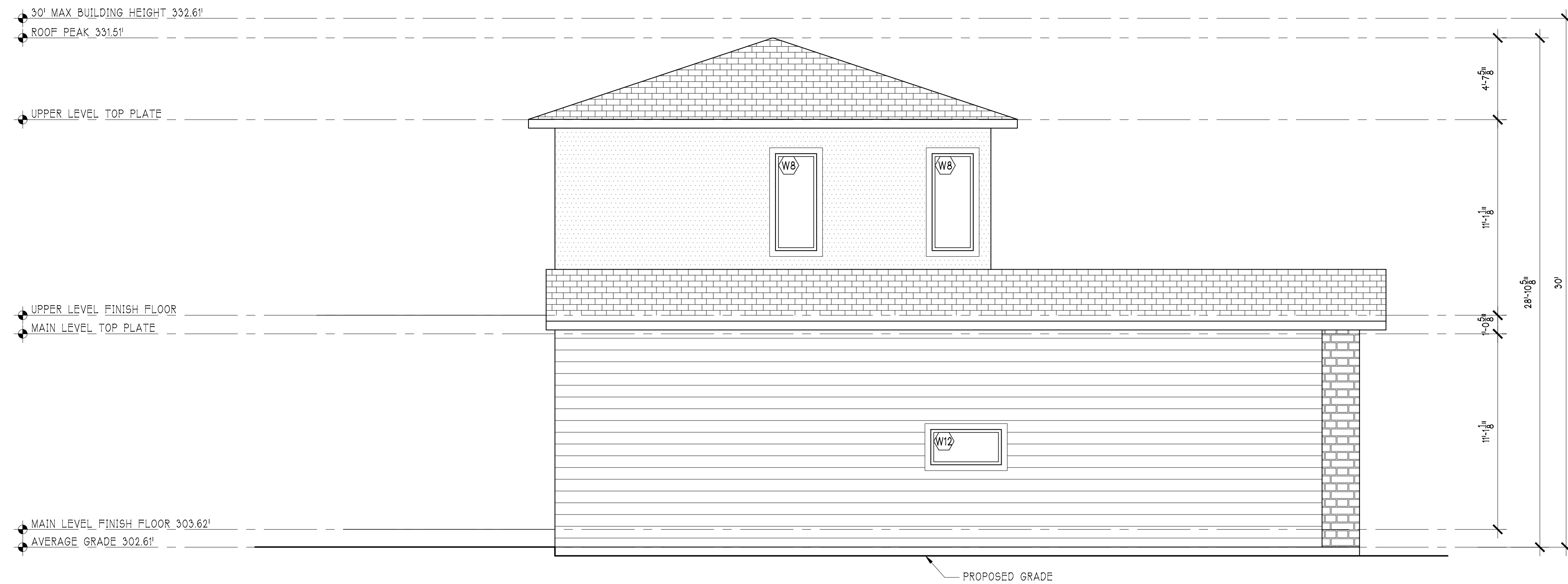
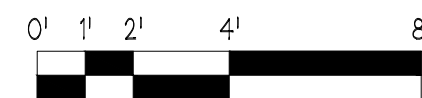
SHEET

A3.1



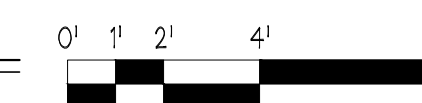
NORTH-WEST ELEVATION

22x34: SCALE 1/4" = 1'-0"
11x17: SCALE 1/8" = 1'-0"



SOUTH-EAST ELEVATION

22x34: SCALE 1/4" = 1'-0"
11x17: SCALE 1/8" = 1'-0"



REV	DATE	DESCRIPTION
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1	08.10.23	CORRECTION RESPONSE 1



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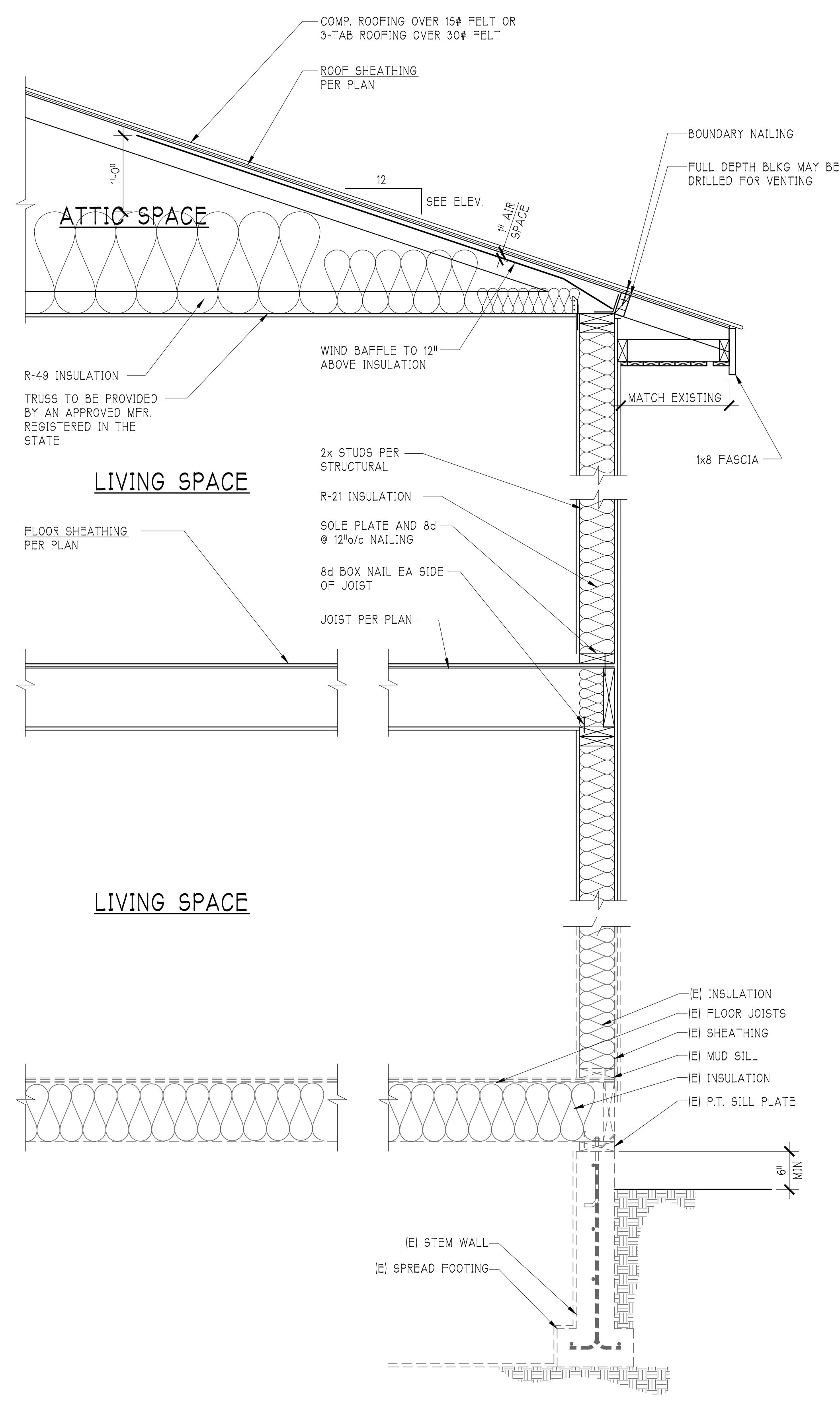
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ELEVATIONS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A3.2

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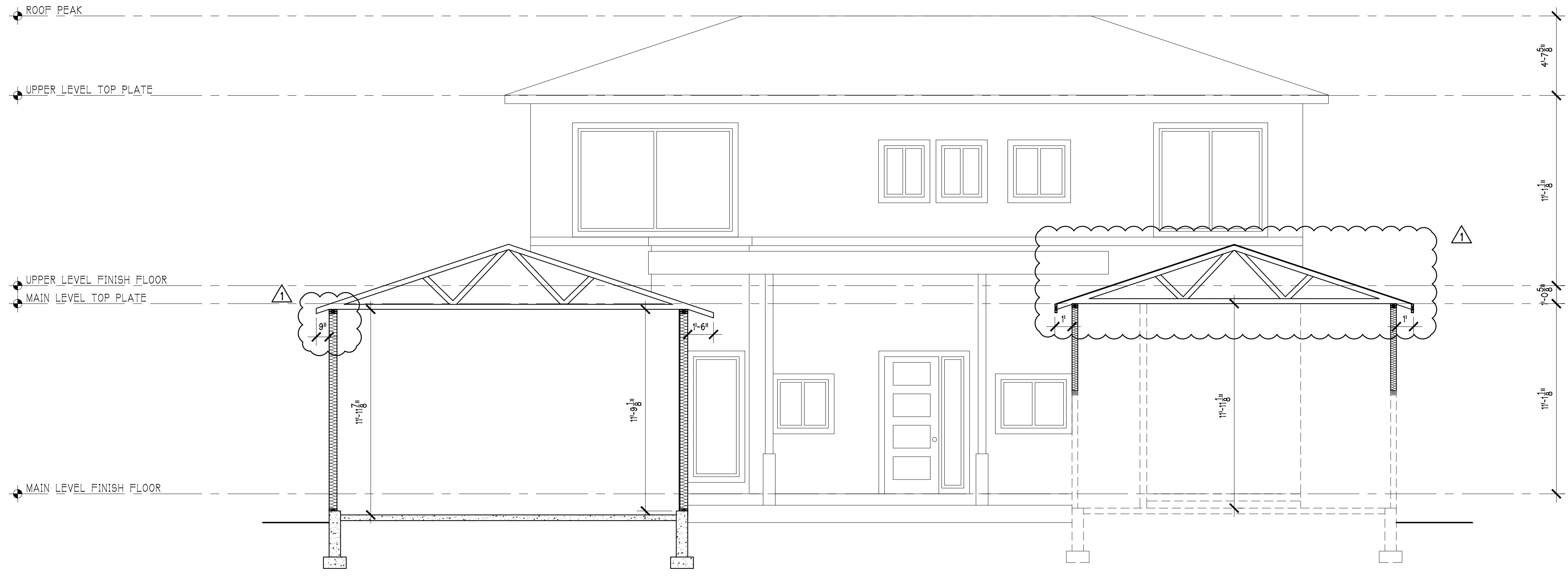
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BUILDING SECTIONS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

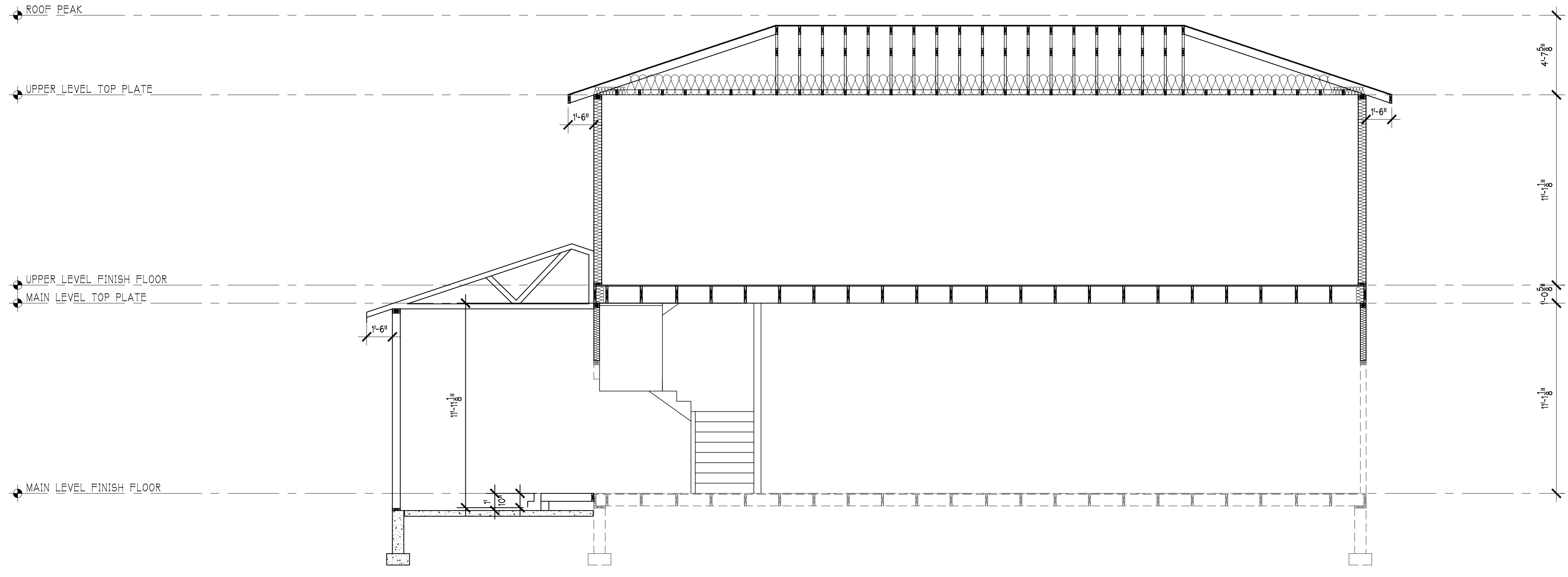
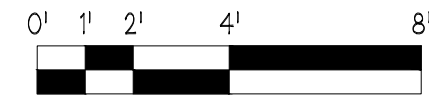
A4.1

1 TYP 2ND STORY ADDITION WALL SECTION
A4.1 22x34 SCALE: 1/8"=1'-0"
11x17 SCALE: 2/8"=1'-0"



SECTION 1

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



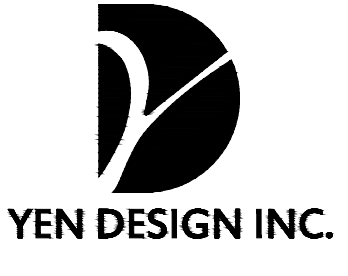
SECTION 2

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



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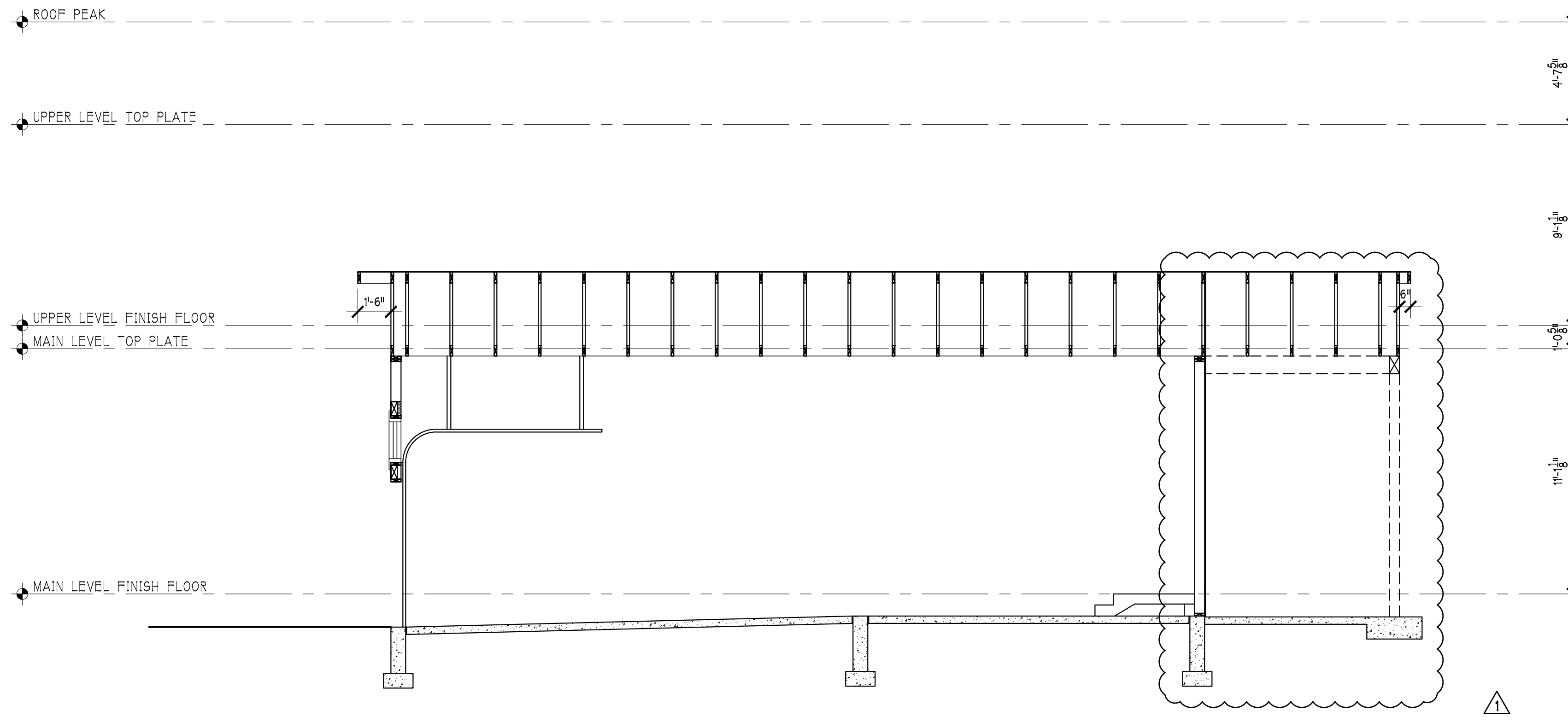
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BUILDING SECTIONS

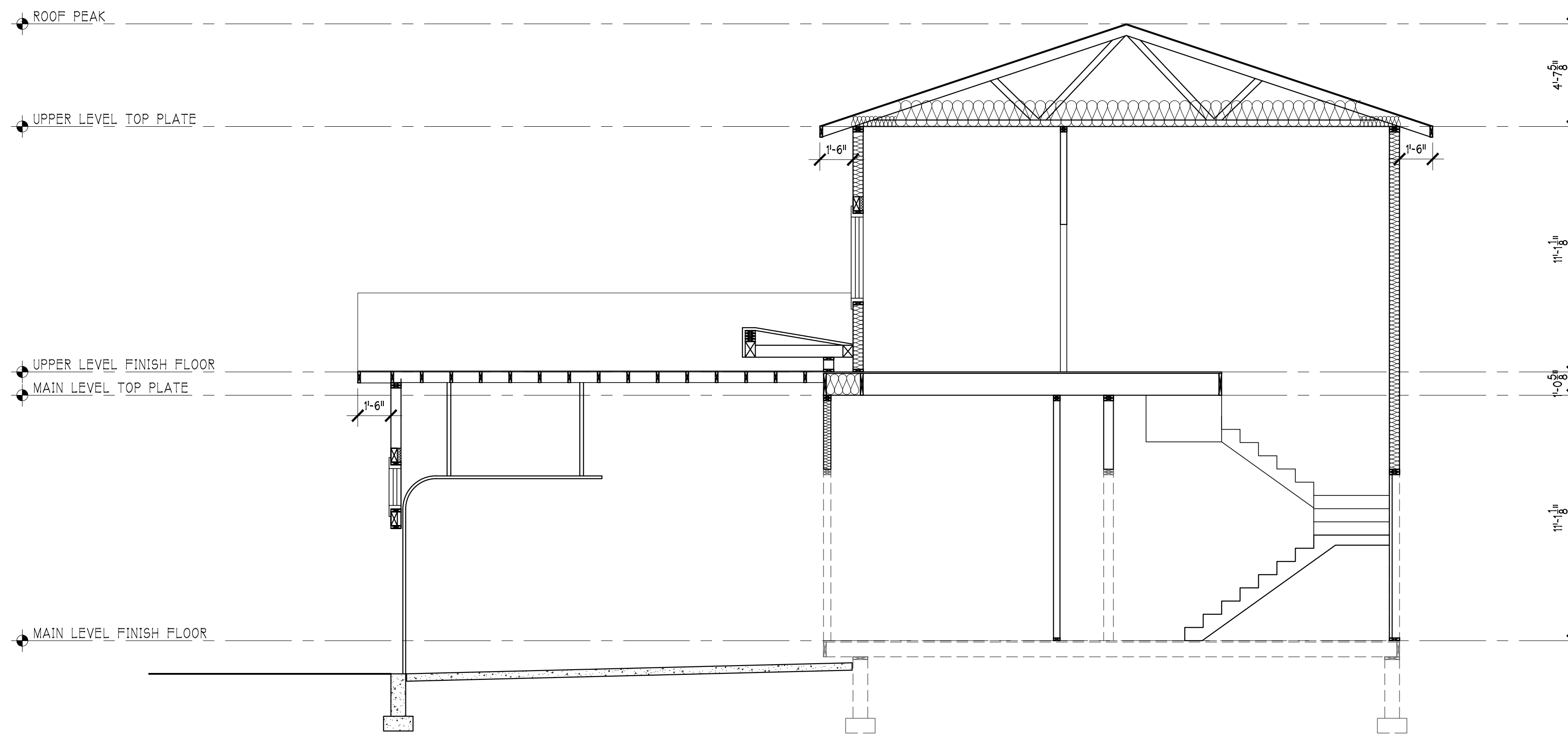
JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A4.2



SECTION 3

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"

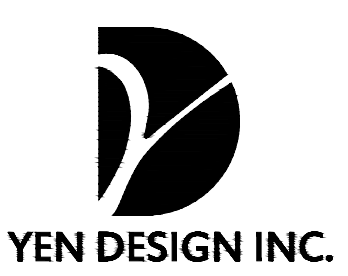


SECTION 4

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"

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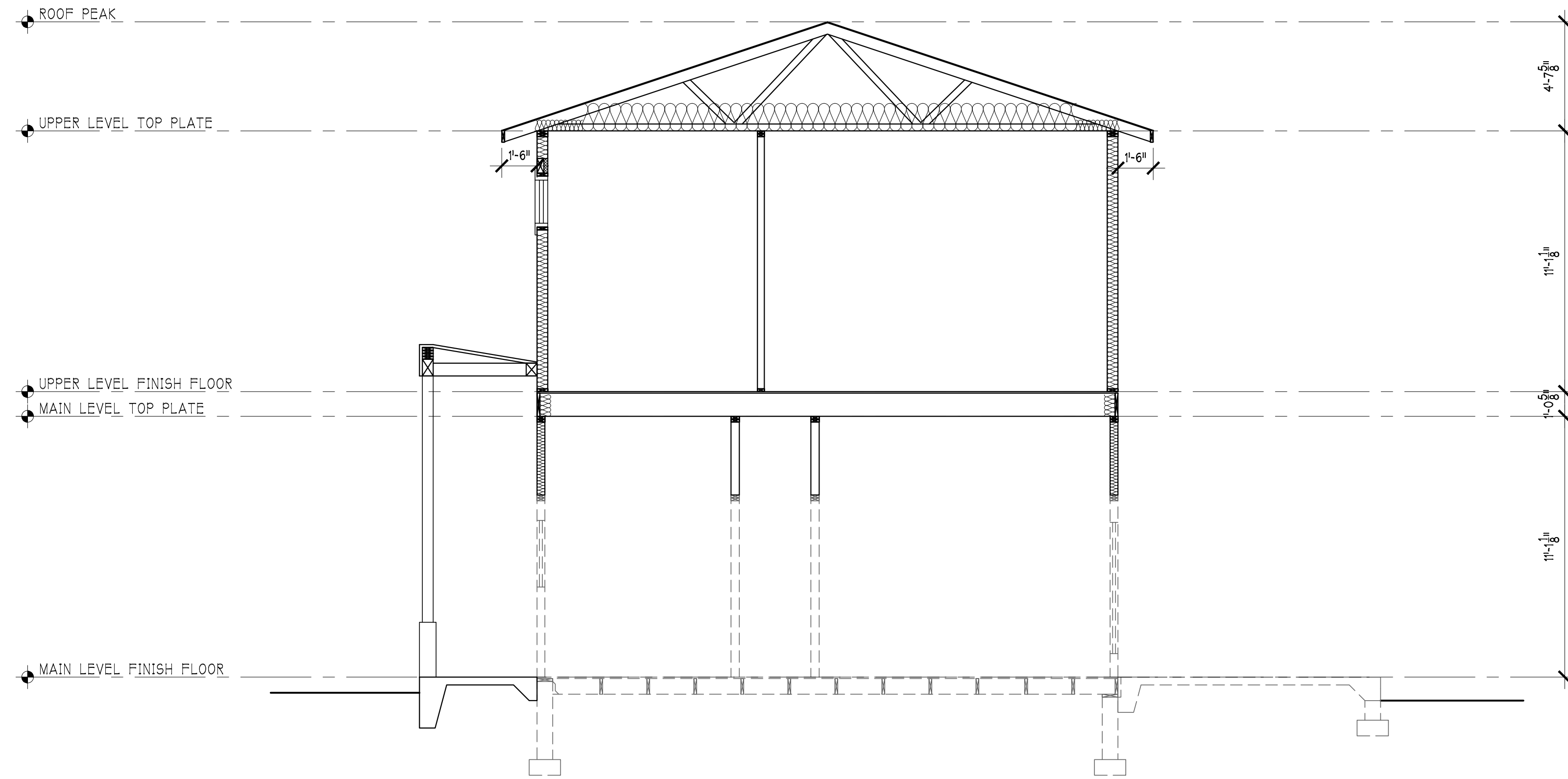
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BUILDING SECTIONS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A4.3



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SECTION 5

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



REV	DATE	DESCRIPTION
0	04.04.23	PERMIT SUBMITTAL
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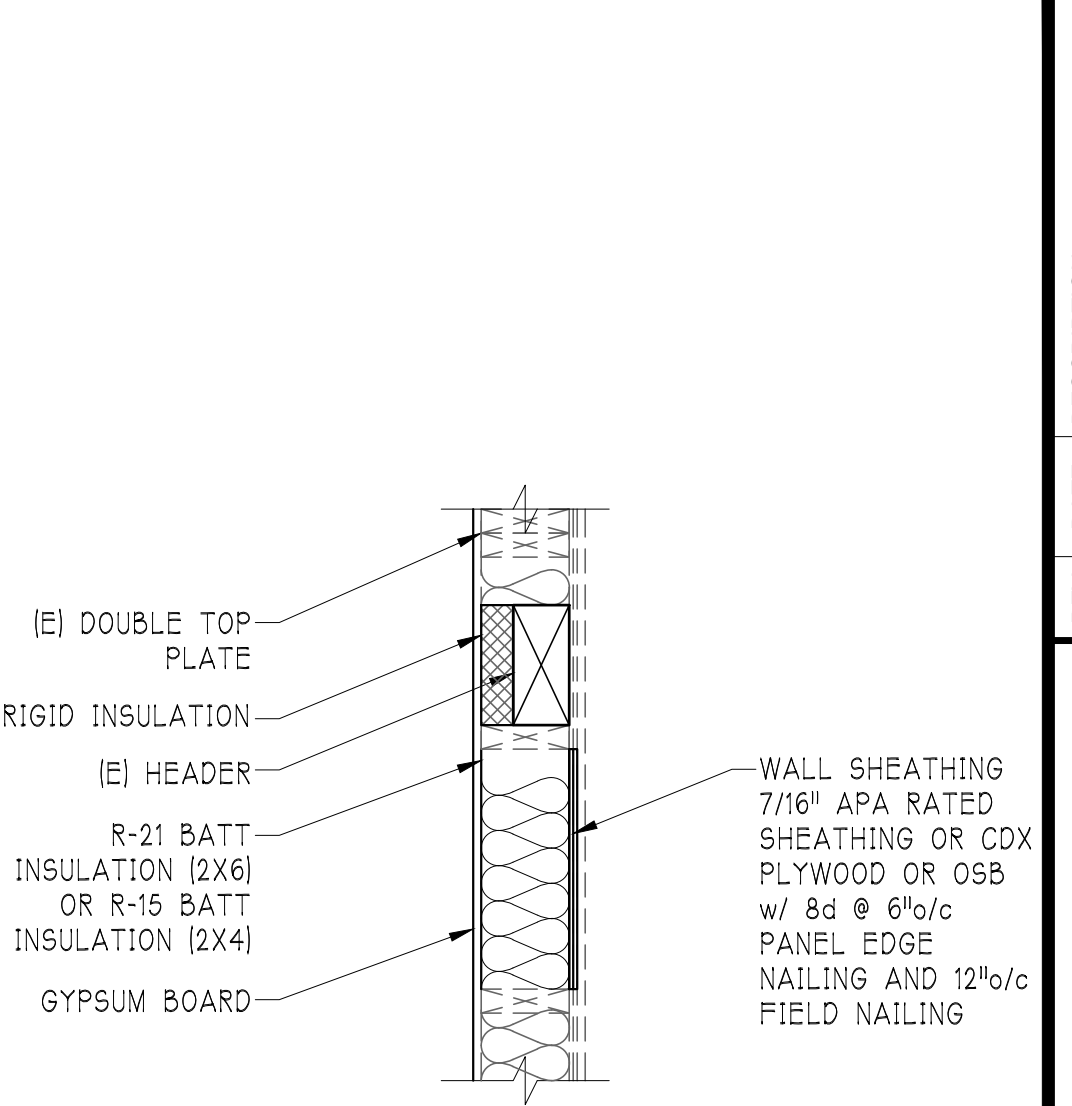
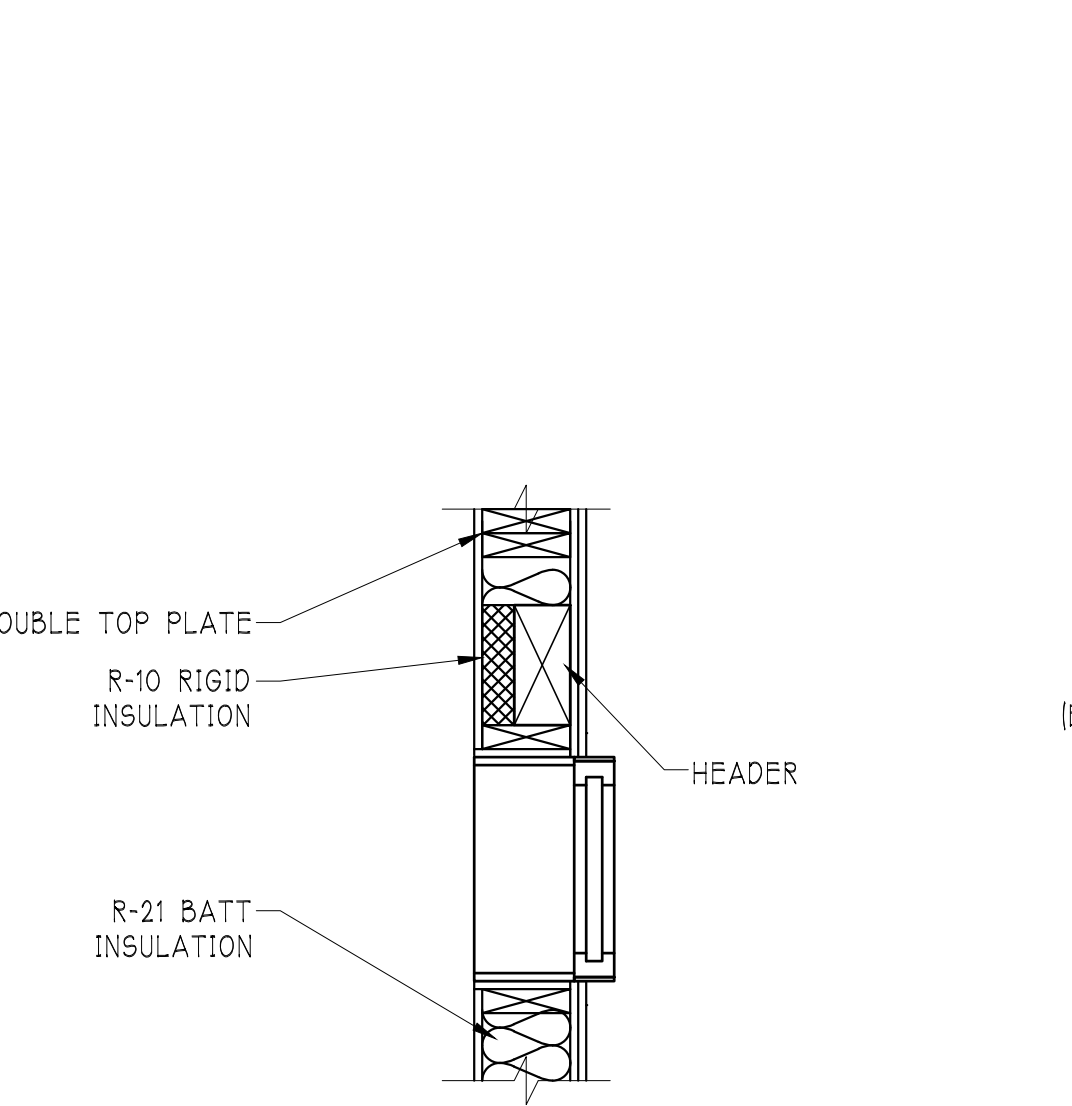
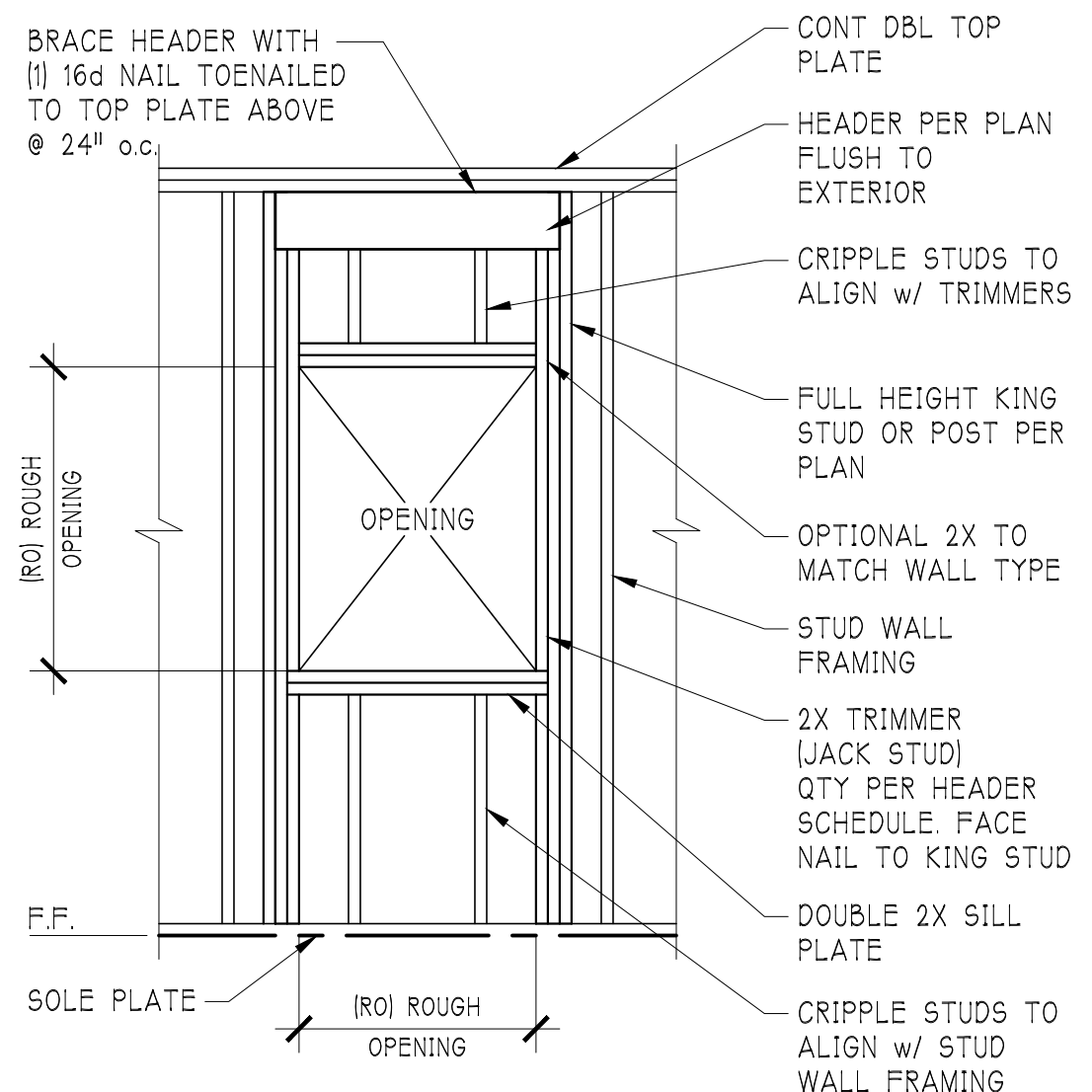
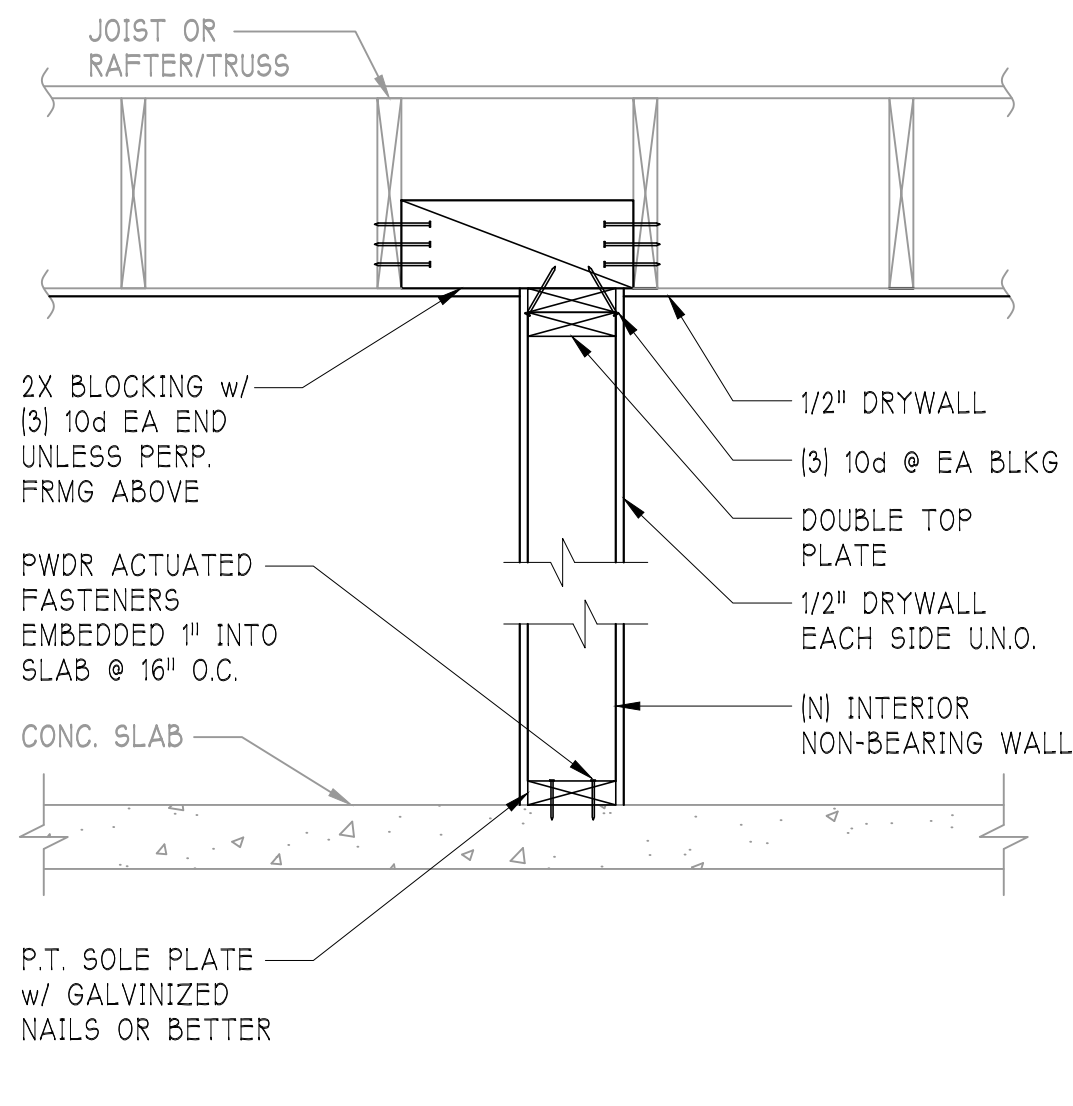
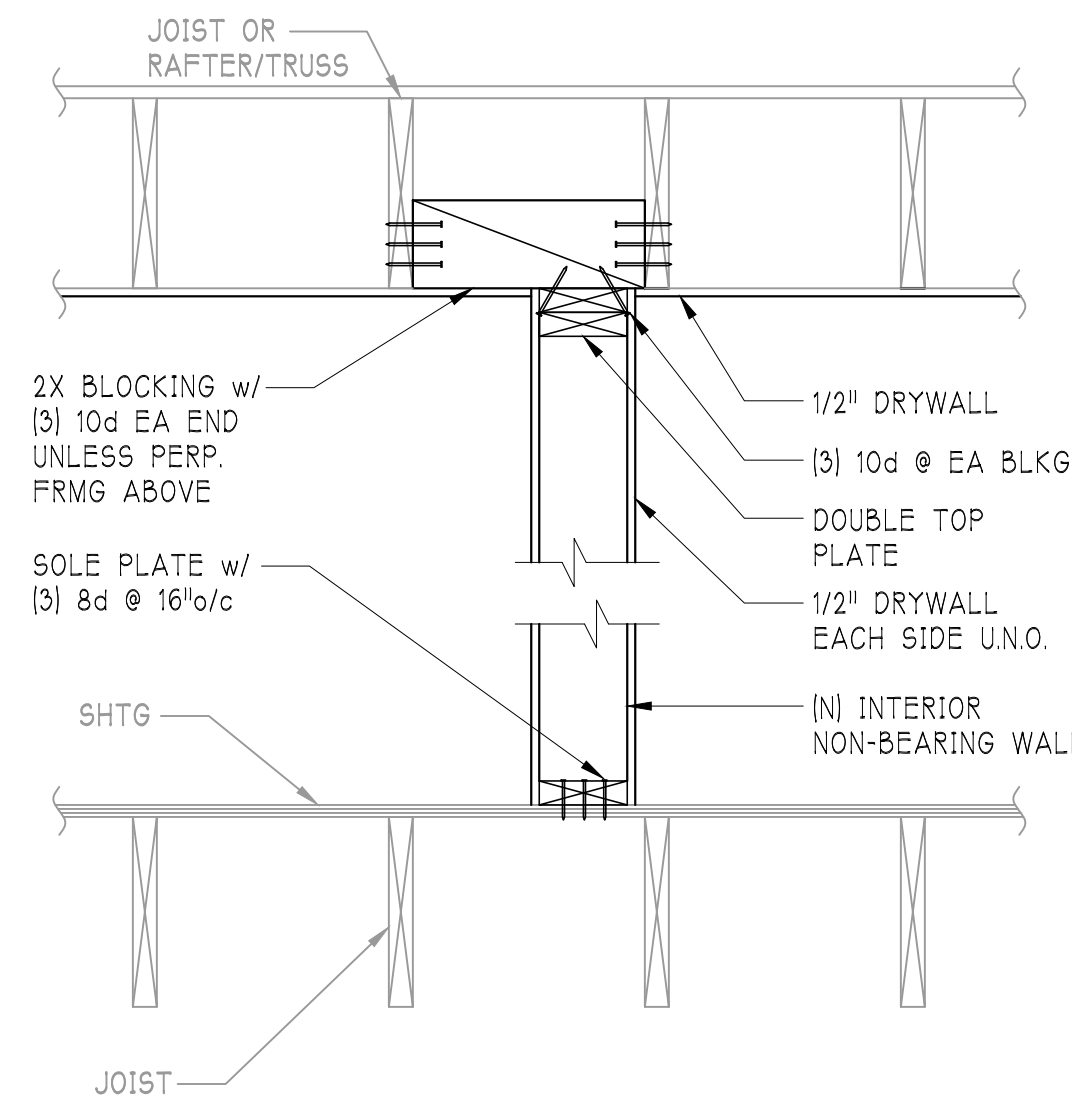
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BUILDING SECTIONS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	

A4.4

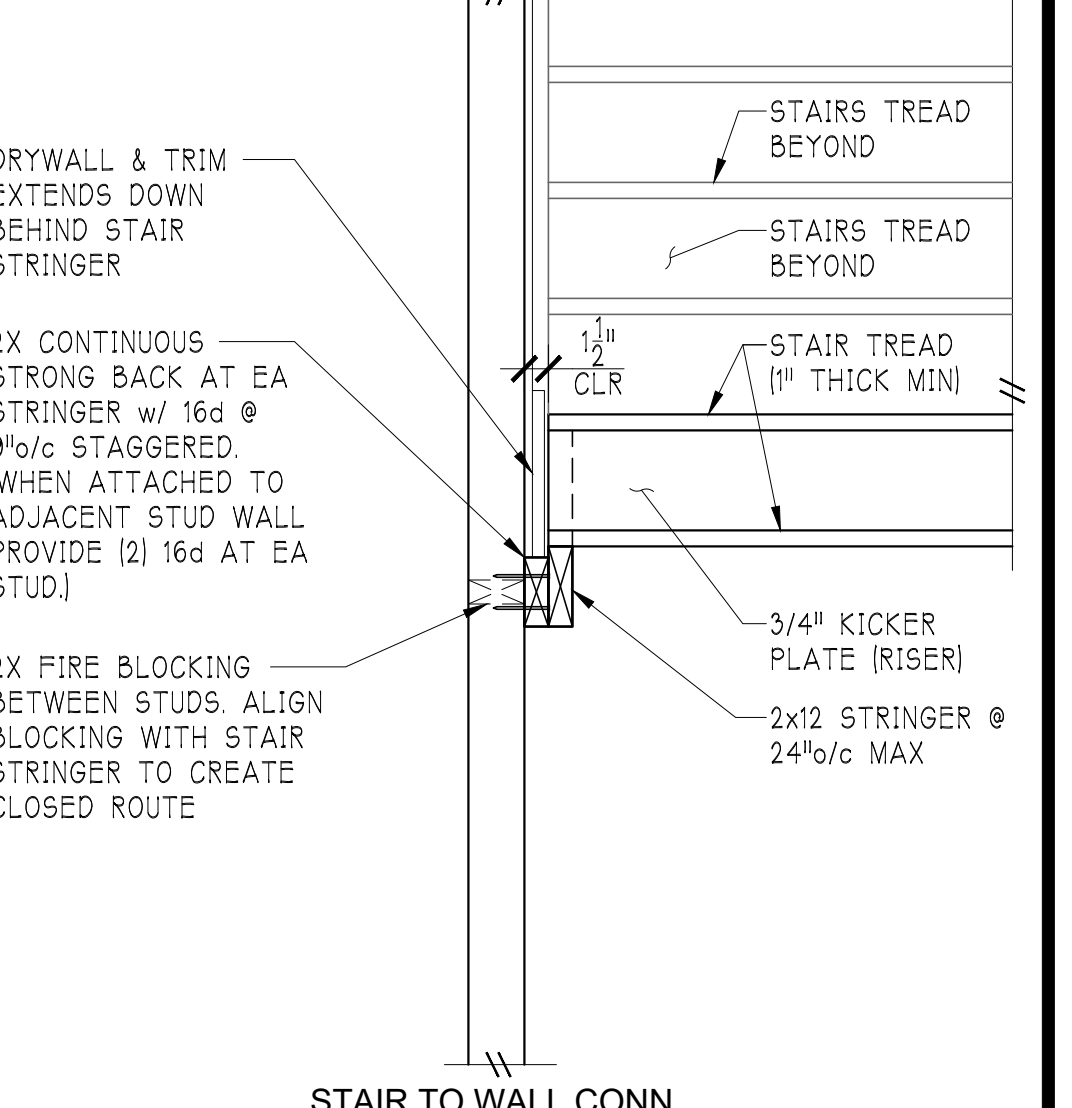
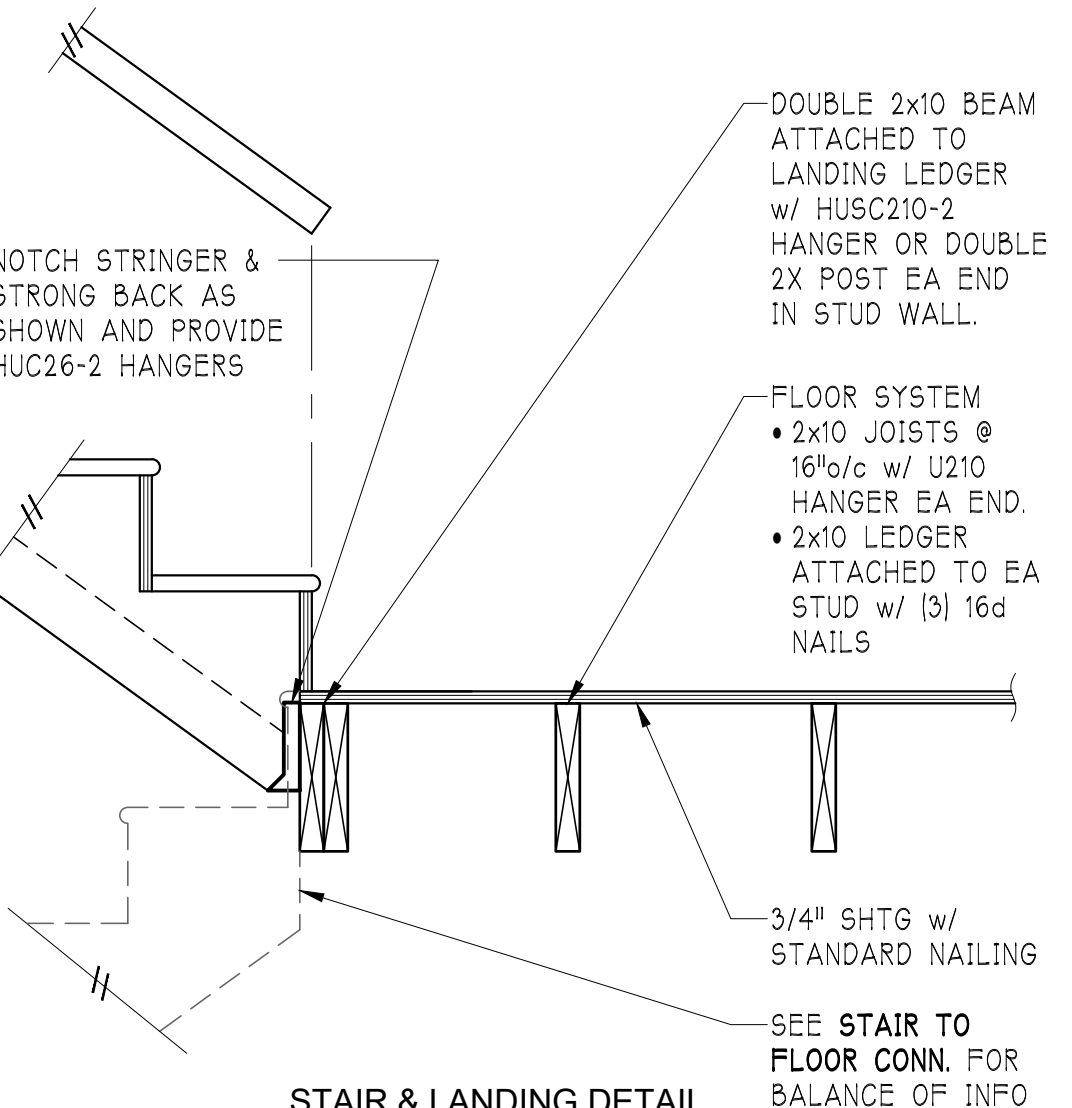
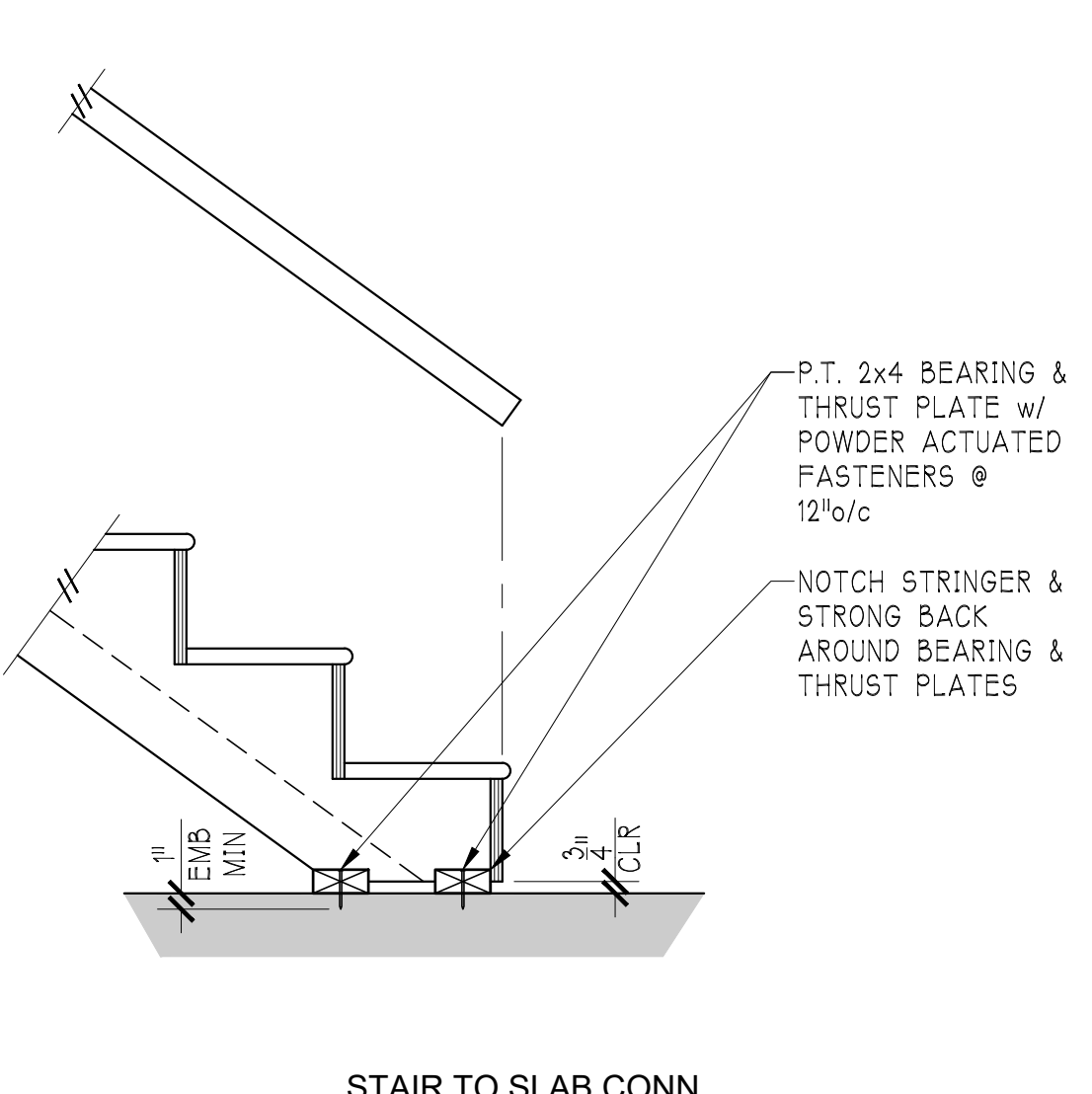
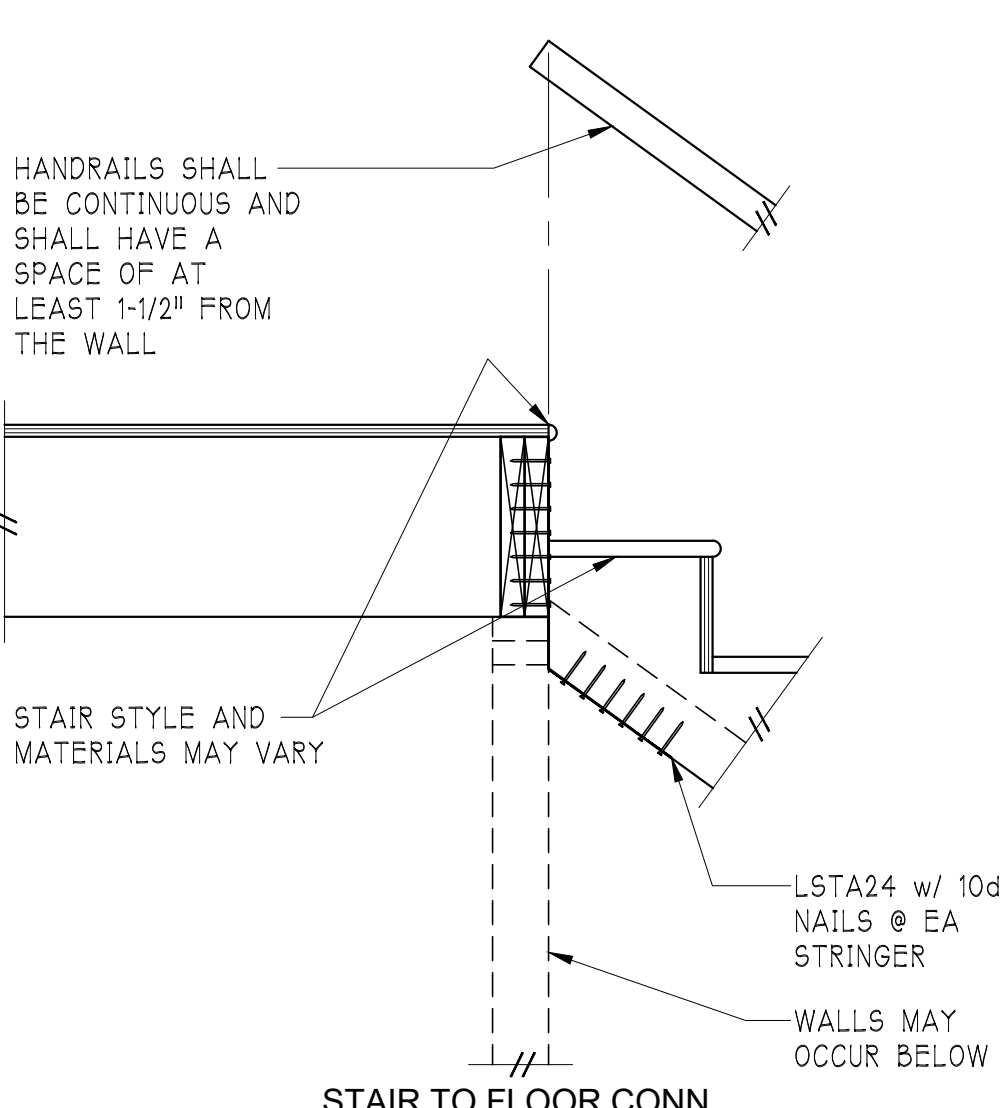
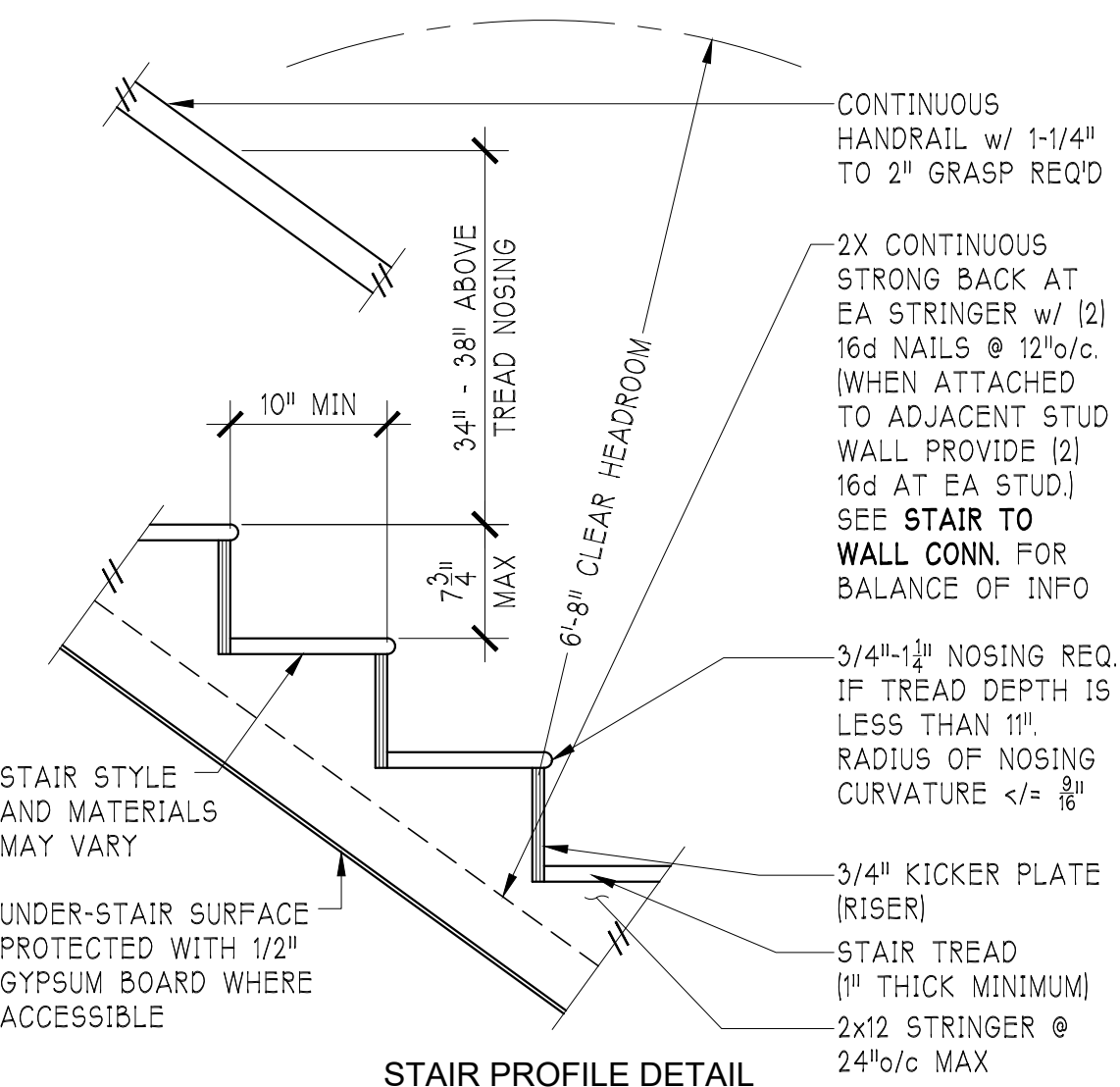


1 NEW INTERIOR WALL SECTION
A5.1 SCALE: 1"=1'-0"

2 TYP. OPENING FRAMING
A5.1 SCALE: 1/2"=1'-0"

3 WINDOW SECTION
A5.1 SCALE: 1"=1'-0"

4 INFILLED WINDOW SECTION
A5.1 SCALE: 1"=1'-0"



5 TYPICAL STAIR DETAILS
A5.1 SCALE: 1"=1'-0"

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1	08.10.23	CORRECTION RESPONSE 1

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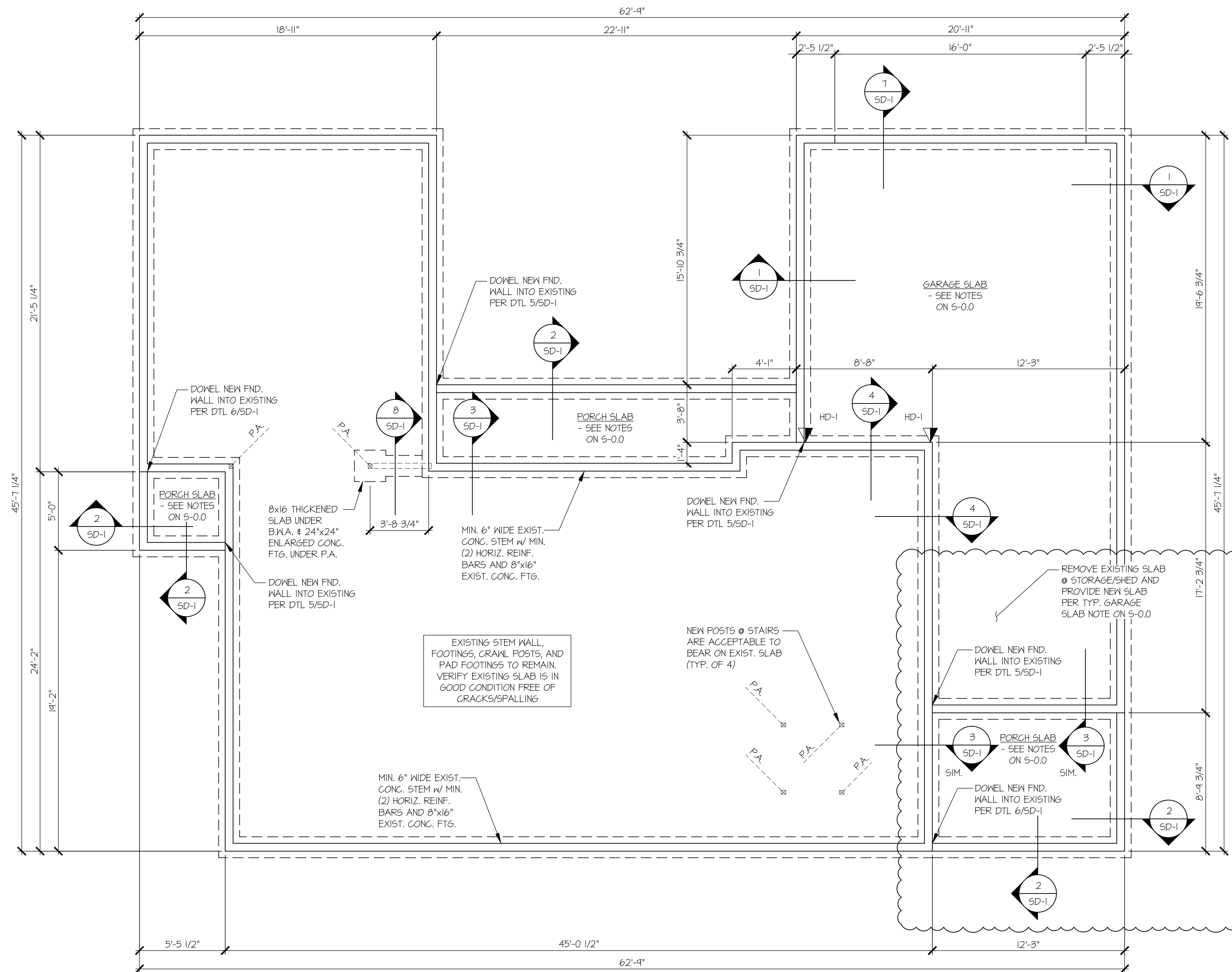
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ARCHITECTURAL DETAILS

JOB NO.	21-0405
HALF SCALE	11x17
FULL SCALE	22x34
SHEET	A5.1

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1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

CONTACT MKK IF ANY EXISTING CONDITIONS DIFFER FROM THOSE SHOWN/ASSUMED (TYP.)

LEGEND

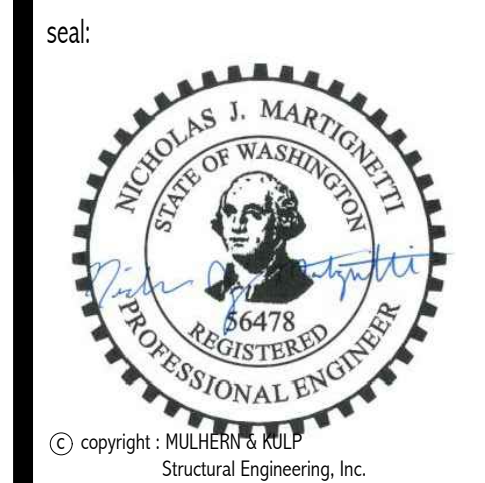
- ◻ INTERIOR BEARING WALL
- ▤ BEARING WALL ABOVE (B/A), OR SHEARWALL ABOVE (S/A)
- BEAM / HEADER
- ▨ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ◻ INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN.

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON HTT4 HOLD-DOWN

* UTILIZE SIMPSON "SET-XP" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 10" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN 1 3/4" OF EDGE OF FOUNDATION. SPECIAL INSPECTIONS REQ'D FOR EPOXY INSTALLATIONS



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M&K project number: 251-22033

project mgr: NJM
drawn by: SAS
issue date: 11-04-22

REVISIONS:

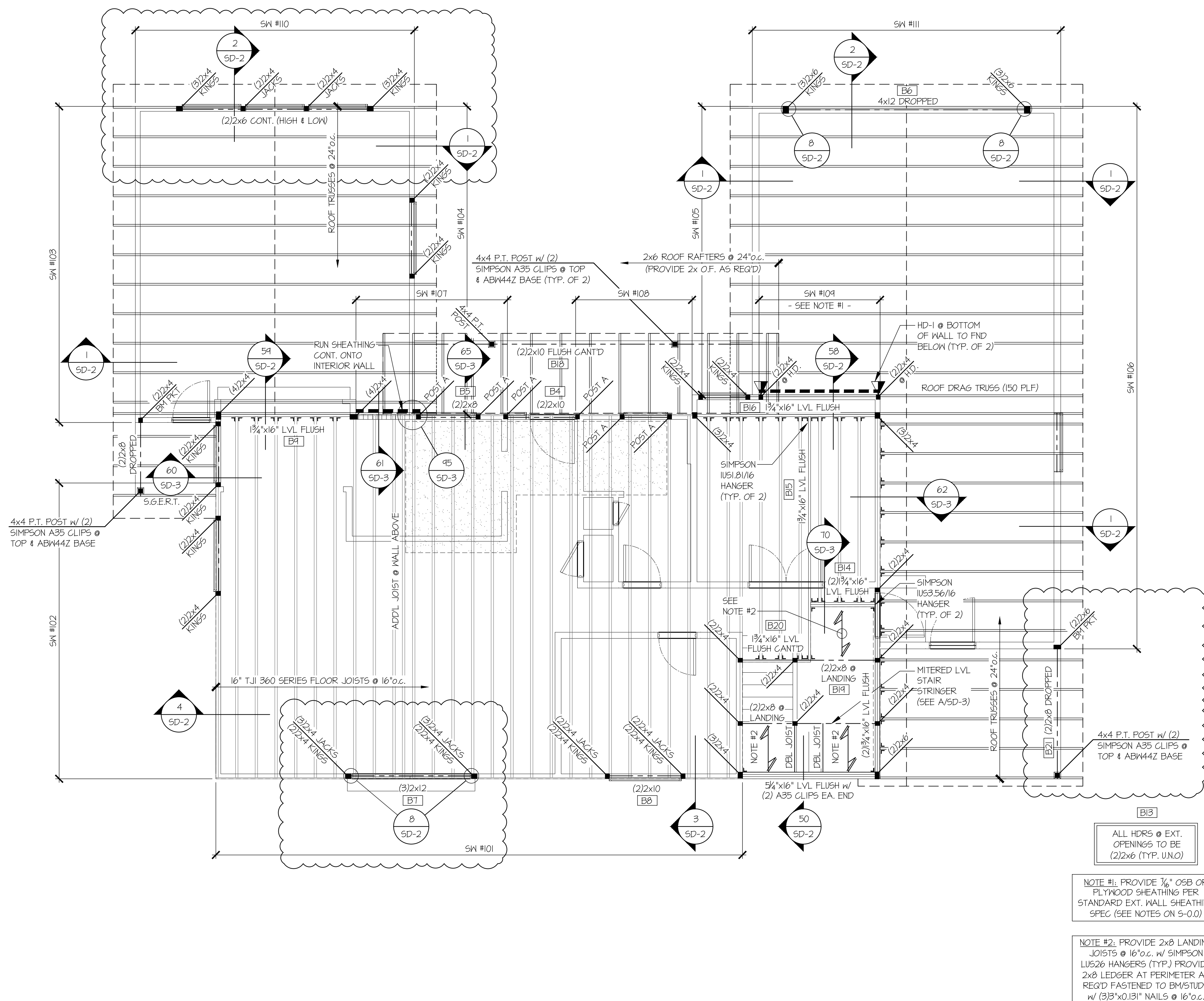
date:	initial:
08/23/2023	SAS

PLAN REVIEW COMMENTS & LARGE REVISIONS

YEN DESIGN

FOUNDATION PLAN
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MERCER ISLAND, WA

sheet: S-1.0



1 2ND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

LEGEND

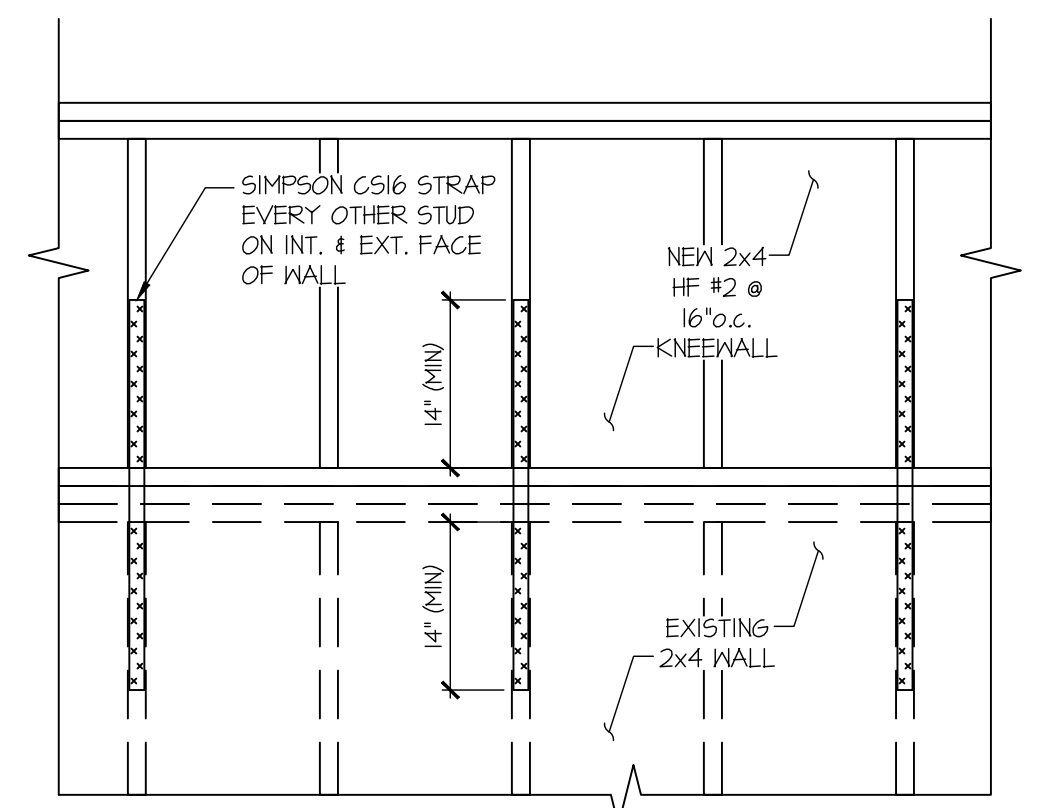
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- ▬ BEARING WALL ABOVE (B/A), OR SHEARWALL ABOVE (S/A)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- ▬ INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▬ INDICATES HOLD-DOWN.

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

HOLD-DOWN SCHEDULE

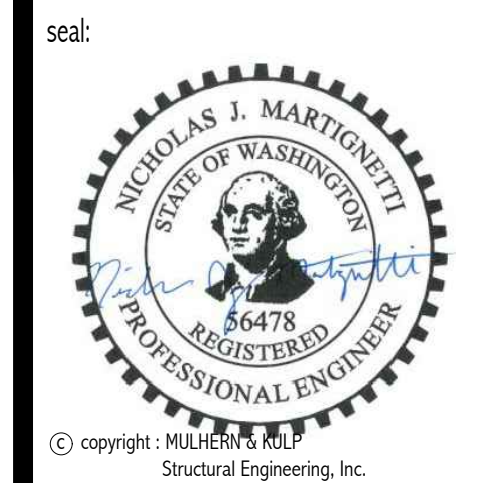
SYMBOL	SPECIFICATION
▬ HD-1	SIMPSON HTT4 HOLD-DOWN

* UTILIZE SIMPSON "SET-XP" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 10" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN 1 3/4" OF EDGE OF FOUNDATION. SPECIAL INSPECTIONS REQ'D FOR EPOXY INSTALLATIONS.



2 DETAIL
SCALE: 1/4"=1'-0"

- POST A: (2)2x4 JACKS & (2)2x4 KINGS (TYP. OF 6)
- ALL STUDS NOTED ON PLAN ARE TO BE NEW FULL HT STUDS
- NOTE #1: PROVIDE 3/8" OSB OR PLYWOOD SHEATHING PER STANDARD EXT. WALL SHEATHING SPEC (SEE NOTES ON S-0.0)
- NOTE #2: PROVIDE 2x8 LANDING JOISTS @ 16" o.c. w/ SIMPSON IUS26 HANGERS (TYP.) PROVIDE 2x8 LEDGER AT PERIMETER AS REQ'D FASTENED TO BM STUDS w/ (3)3"x0.131" NAILS @ 16" o.c.
- EXISTING 1ST FLOOR WALLS SHALL HAVE A NEW 2x4 HF #2 @ 16" o.c. KNEEWALL BUILT ATOP THE EXISTING 2x4 WALLS TO THE NEW 1ST FLOOR PLATE HEIGHT. EVERY OTHER EXISTING STUD SHALL BE STRAPPED TO THE NEW KNEEWALL STUD ABOVE WITH A SIMPSON CS16 STRAP w/ 14" END LENGTH ON EA. STUD AT THE INT. & EXT. FACE OF WALL (SEE DETAIL 2/5-2.0)
- CONTACT MKK IF ANY EXISTING CONDITIONS DIFFER FROM THOSE SHOWN/ASSUMED (TYP.)



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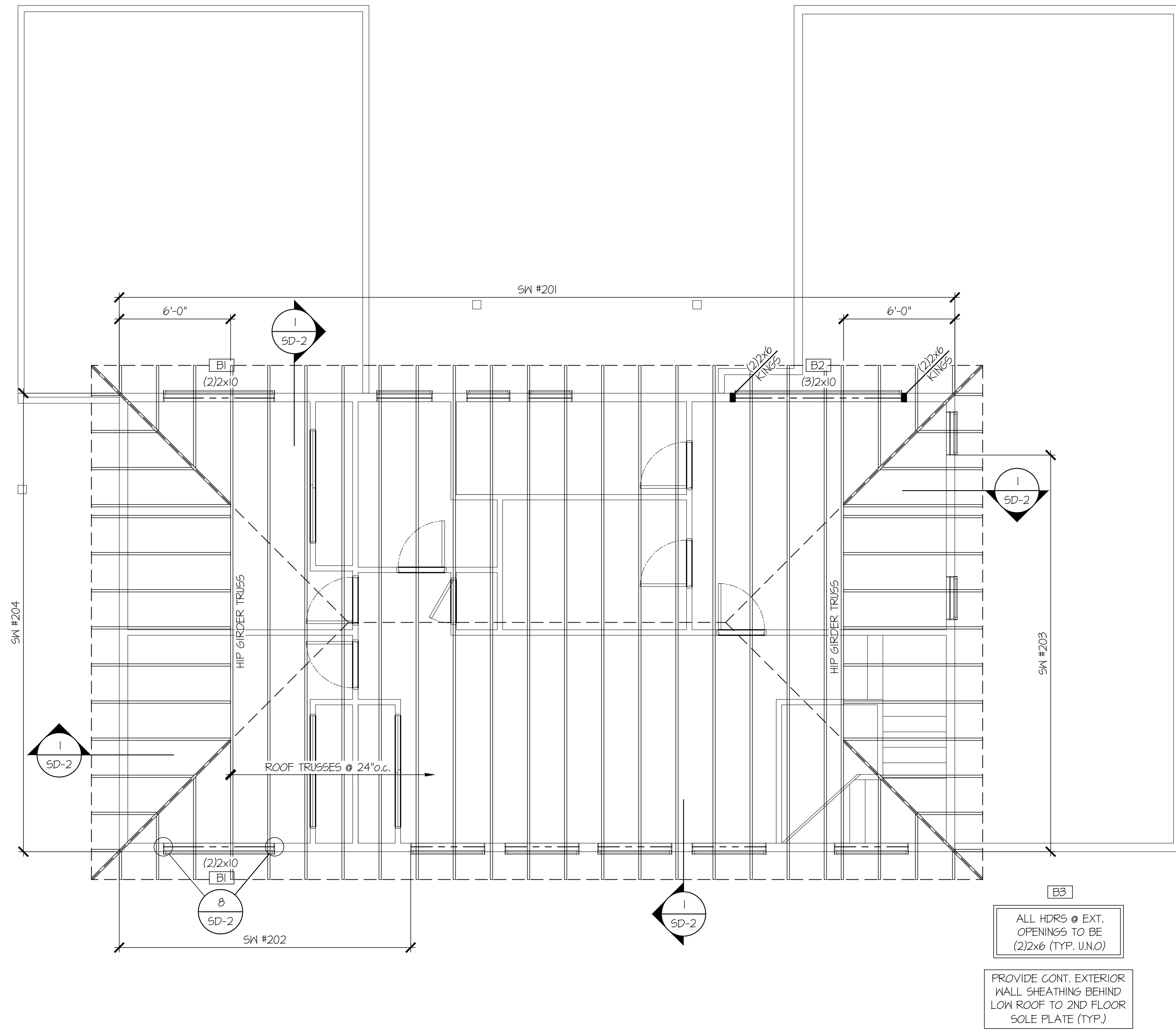
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2ND FLOOR FRAMING PLAN
4029 97TH AVE SE
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sheet: **S-2.0**



1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

LEGEND	
[Symbol]	INTERIOR BEARING WALL
[Symbol]	BEARING WALL ABOVE (B/A), OR SHEARWALL ABOVE (S/A)
[Symbol]	BEAM / HEADER
[Symbol]	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3' o.c. EDGE NAILING
[Symbol]	INDICATES AREA OF ROOF OVERFRAMING
JL	METAL HANGER
[Symbol]	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
[Symbol]	INDICATES HOLD-DOWN.

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



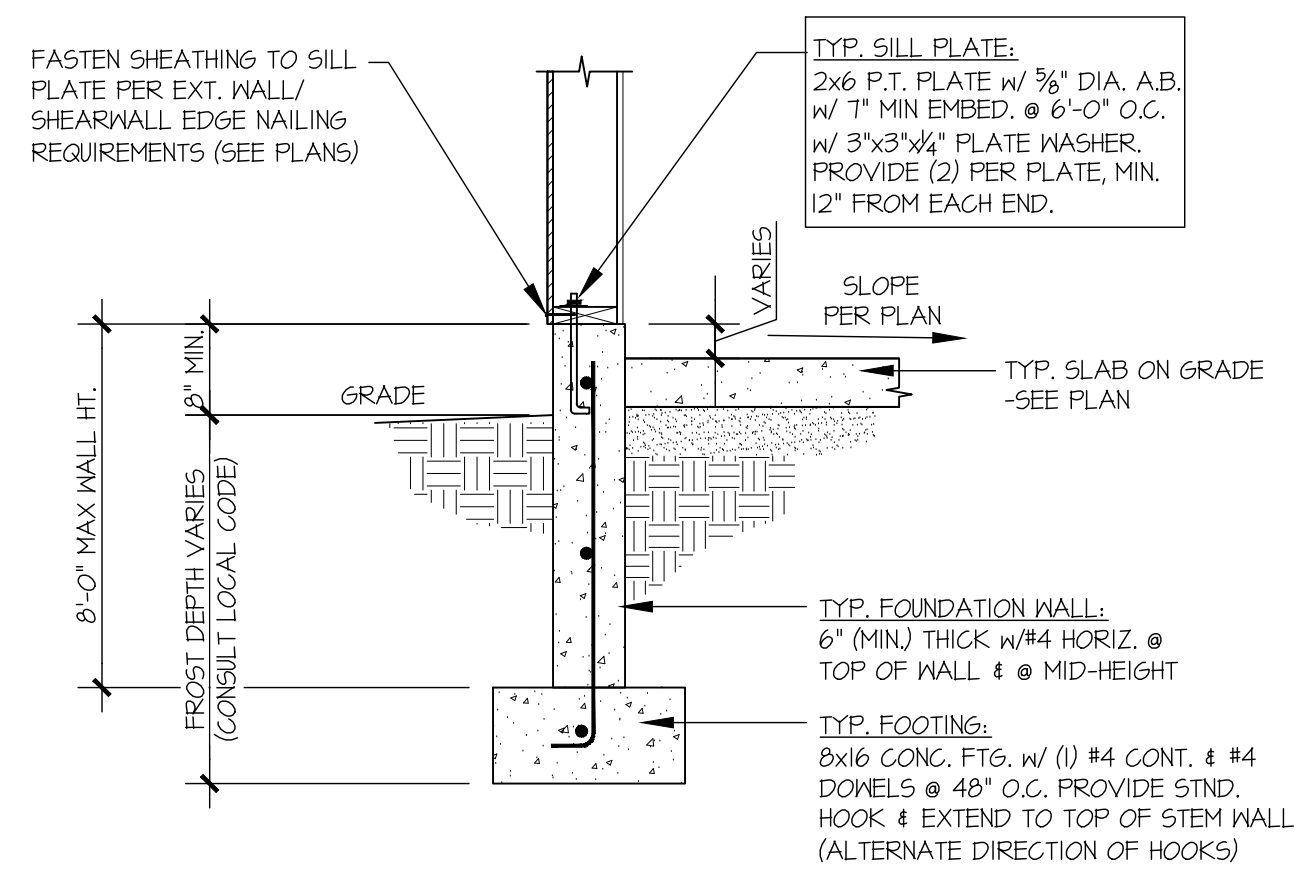
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issue date:	11-04-22
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date:	initial:
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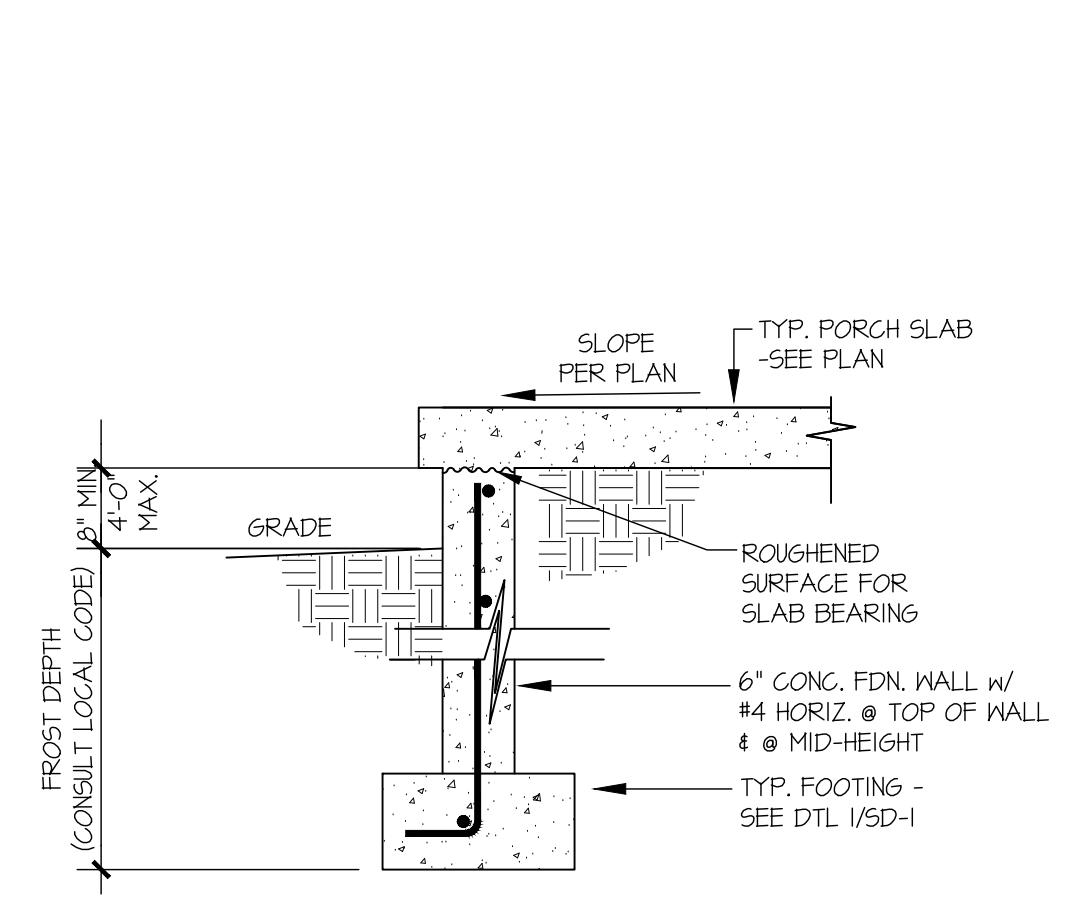
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ROOF FRAMING PLAN
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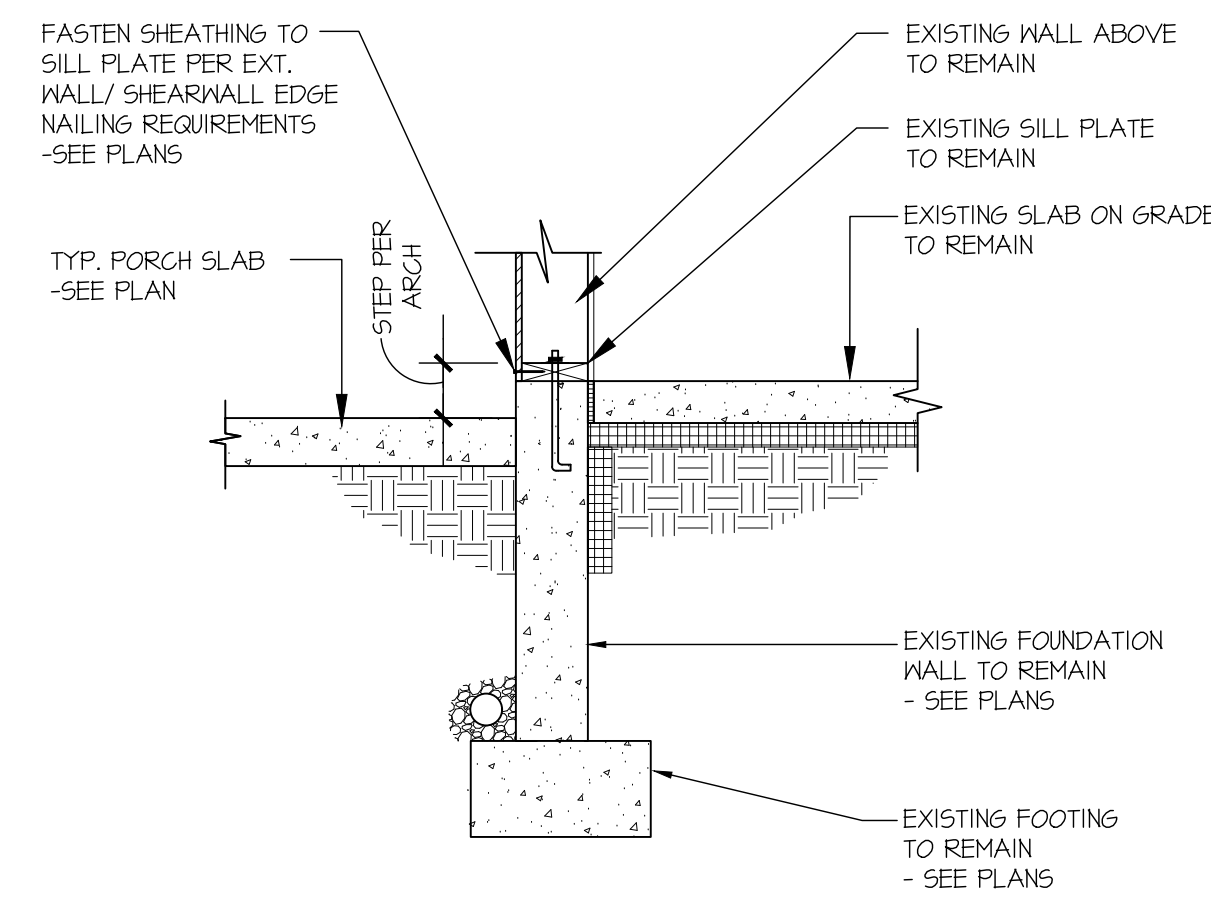
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S-3.0



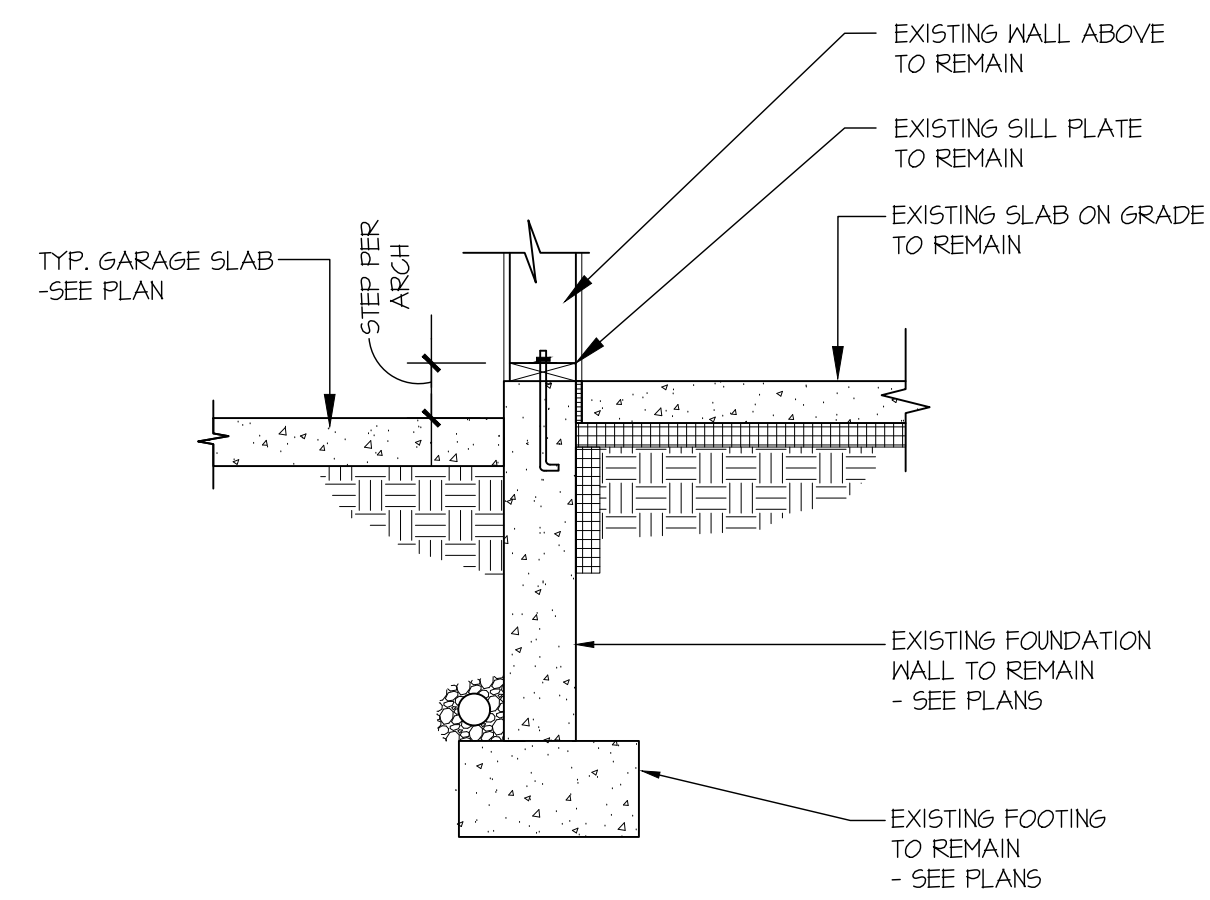
1 SECTION
SCALE: 3/4"=1'-0"



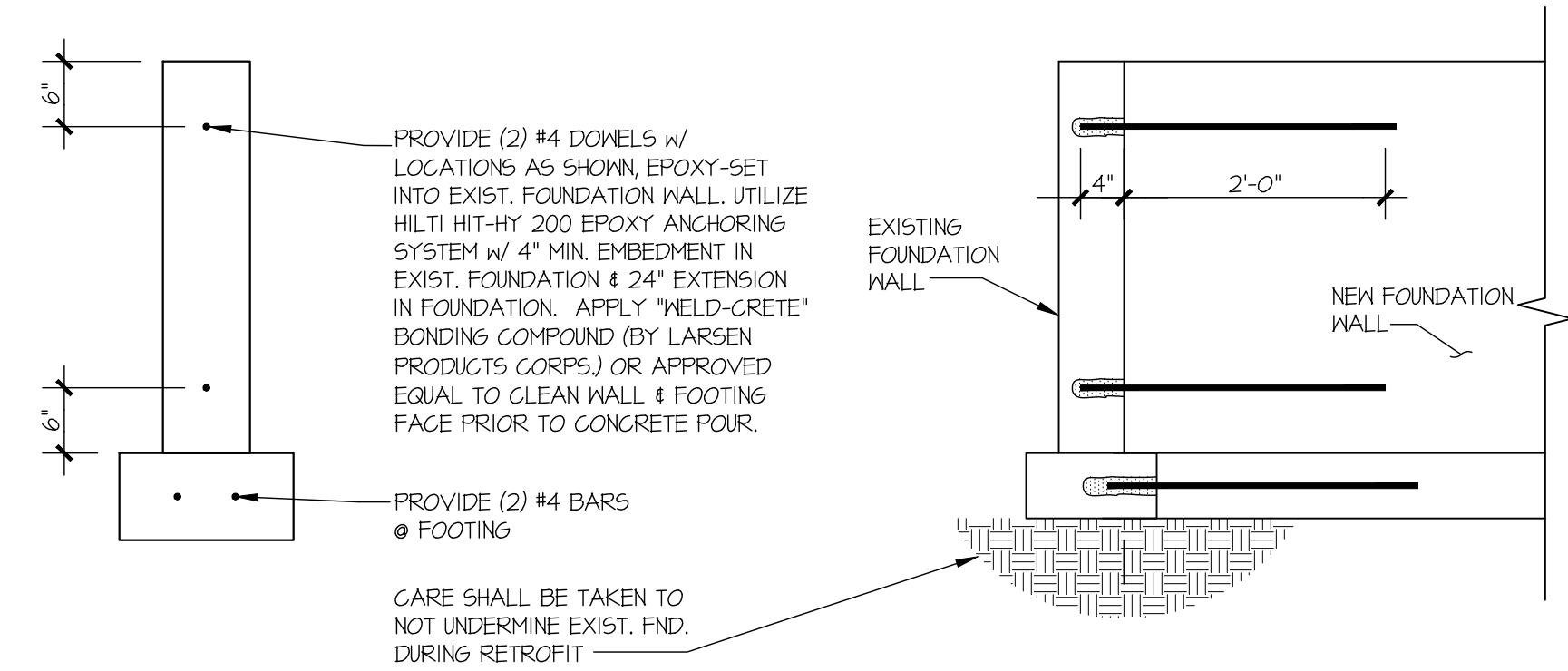
2 SECTION
SCALE: 3/4"=1'-0"



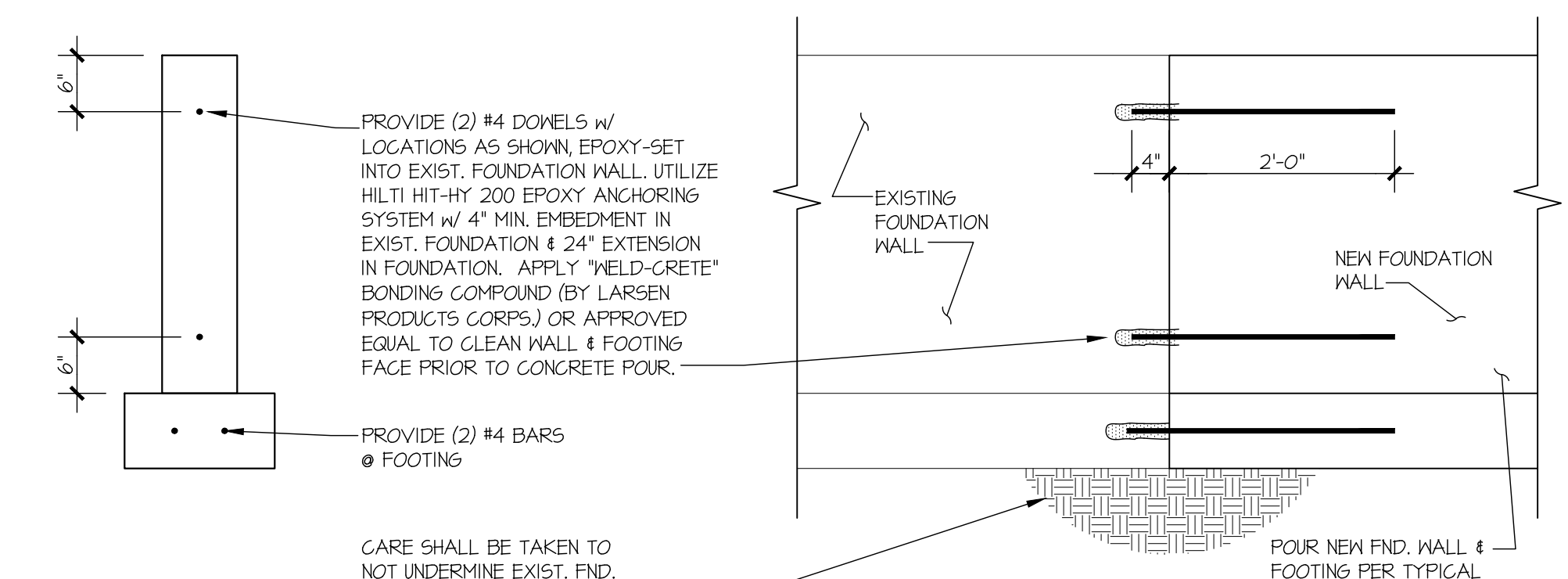
3 SECTION
SCALE: 3/4"=1'-0"



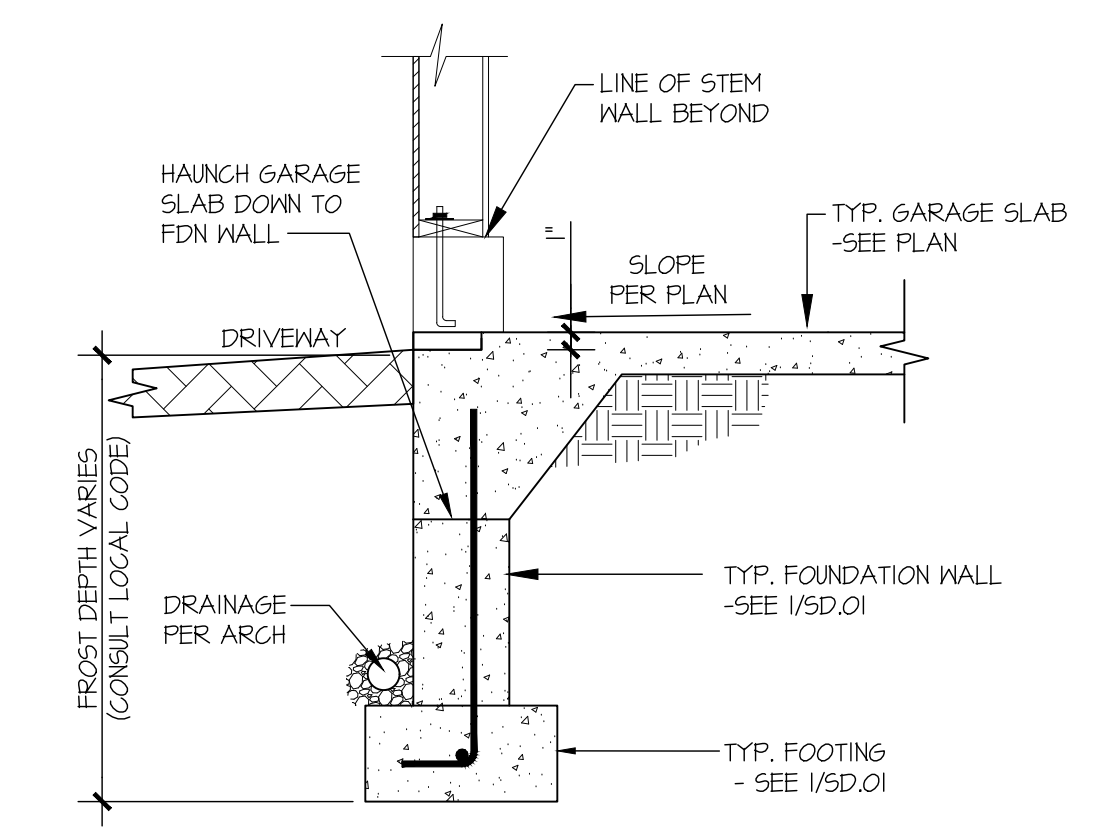
4 SECTION
SCALE: 3/4"=1'-0"



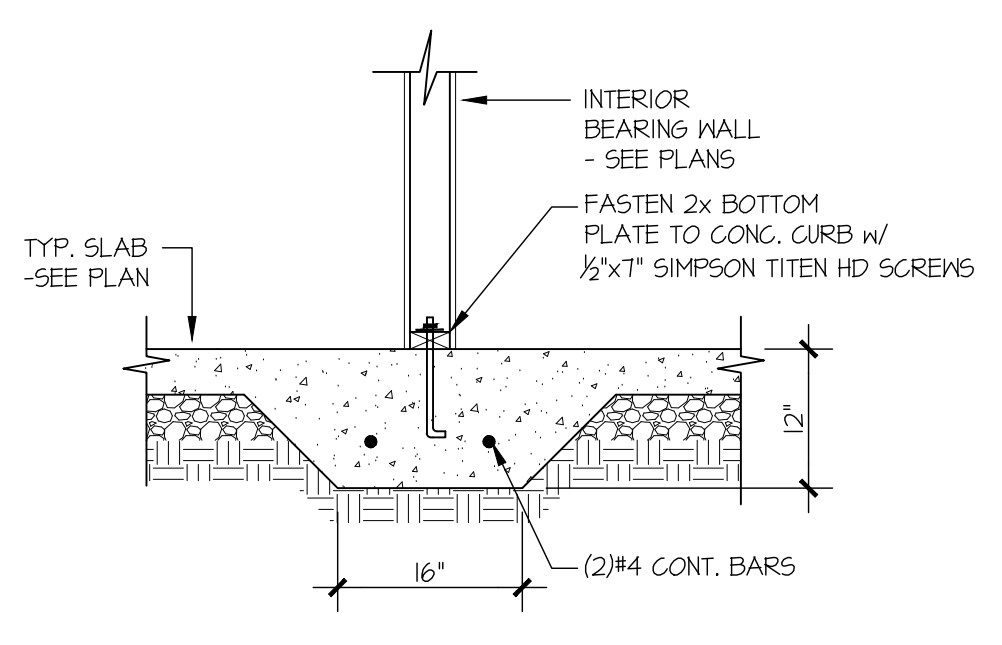
5 SECTION
TYPICAL FOUNDATION RETROFIT DETAIL
SCALE: 1/2"=1'-0"



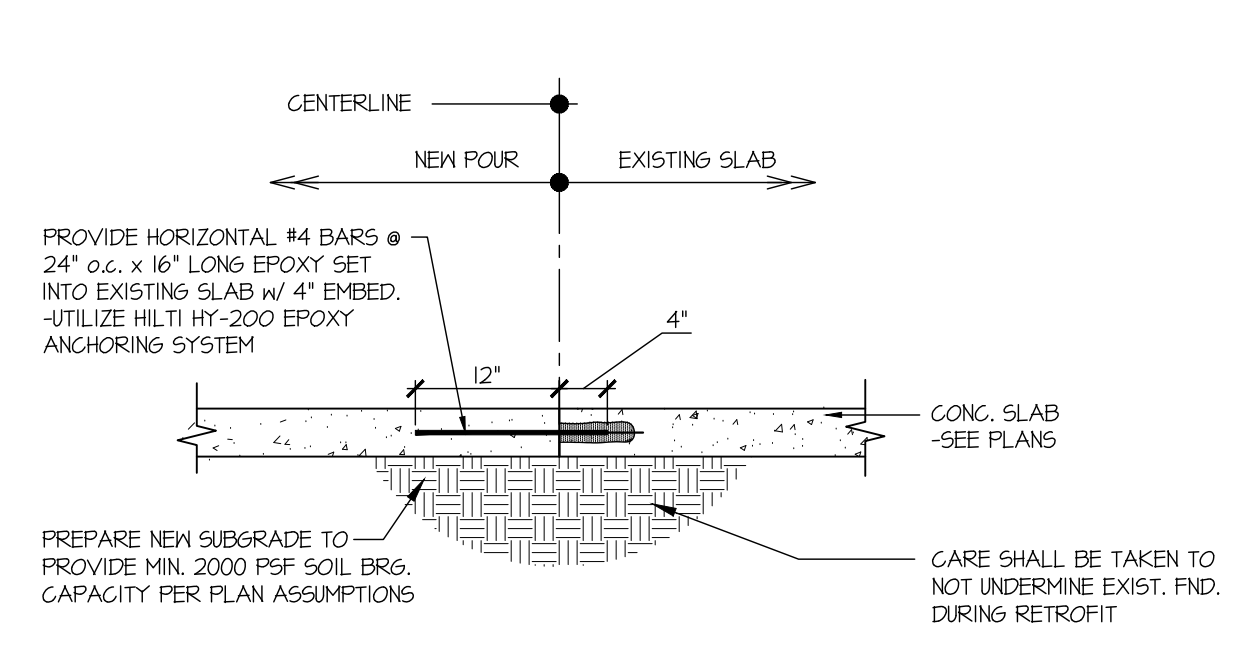
6 SECTION
TYPICAL FOUNDATION RETROFIT DETAIL
SCALE: 1/2"=1'-0"



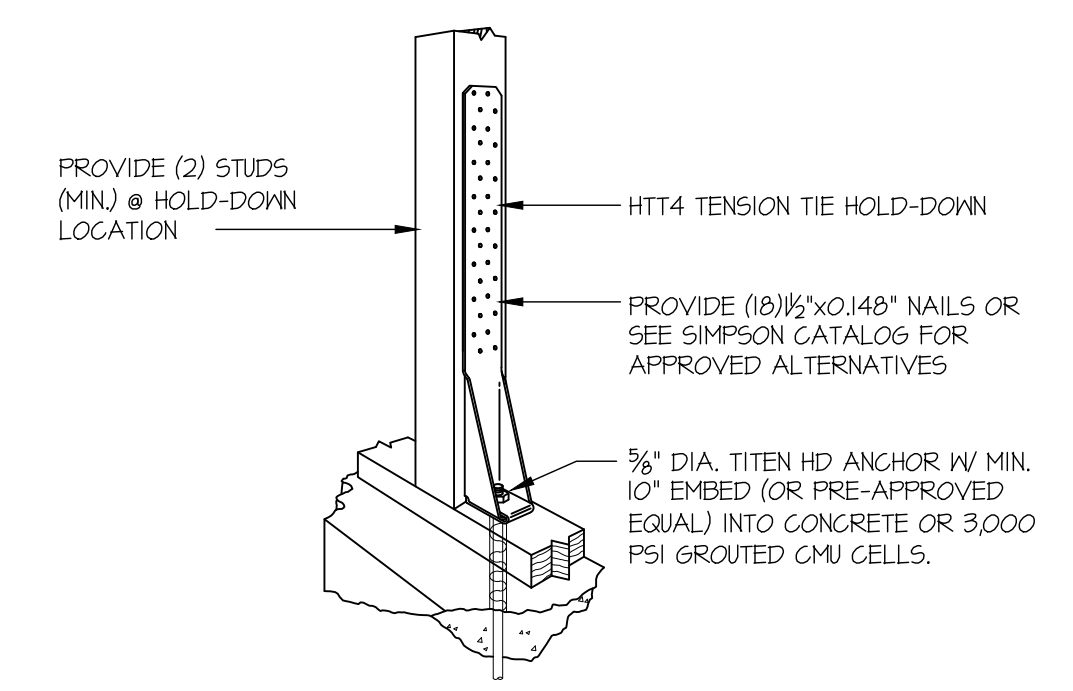
7 SECTION
TYPICAL CONCRETE FDN. @ GARAGE DOOR OPENING
SCALE: 3/4"=1'-0"



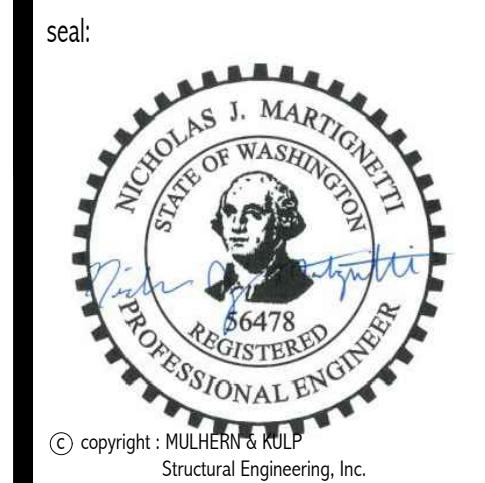
8 SECTION
TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL
SCALE: 3/4"=1'-0"



9 SECTION
NEW SLAB TO EXIST SLAB CONNECTION
SCALE: 3/4"=1'-0"



A SECTION
TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE
SIMPSON HTT4 SHOWN @ SLAB



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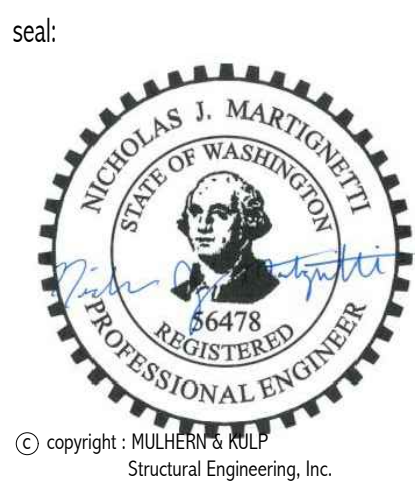
REVISIONS:

date: 08/23/2023	initial: SAS
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FOUNDATION DETAILS
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p 619-660-0010 > mulhernkulp.com

M&K project number:
251-22033

project mgr: **NJM**
drawn by: **SAS**
issue date: **11-04-22**

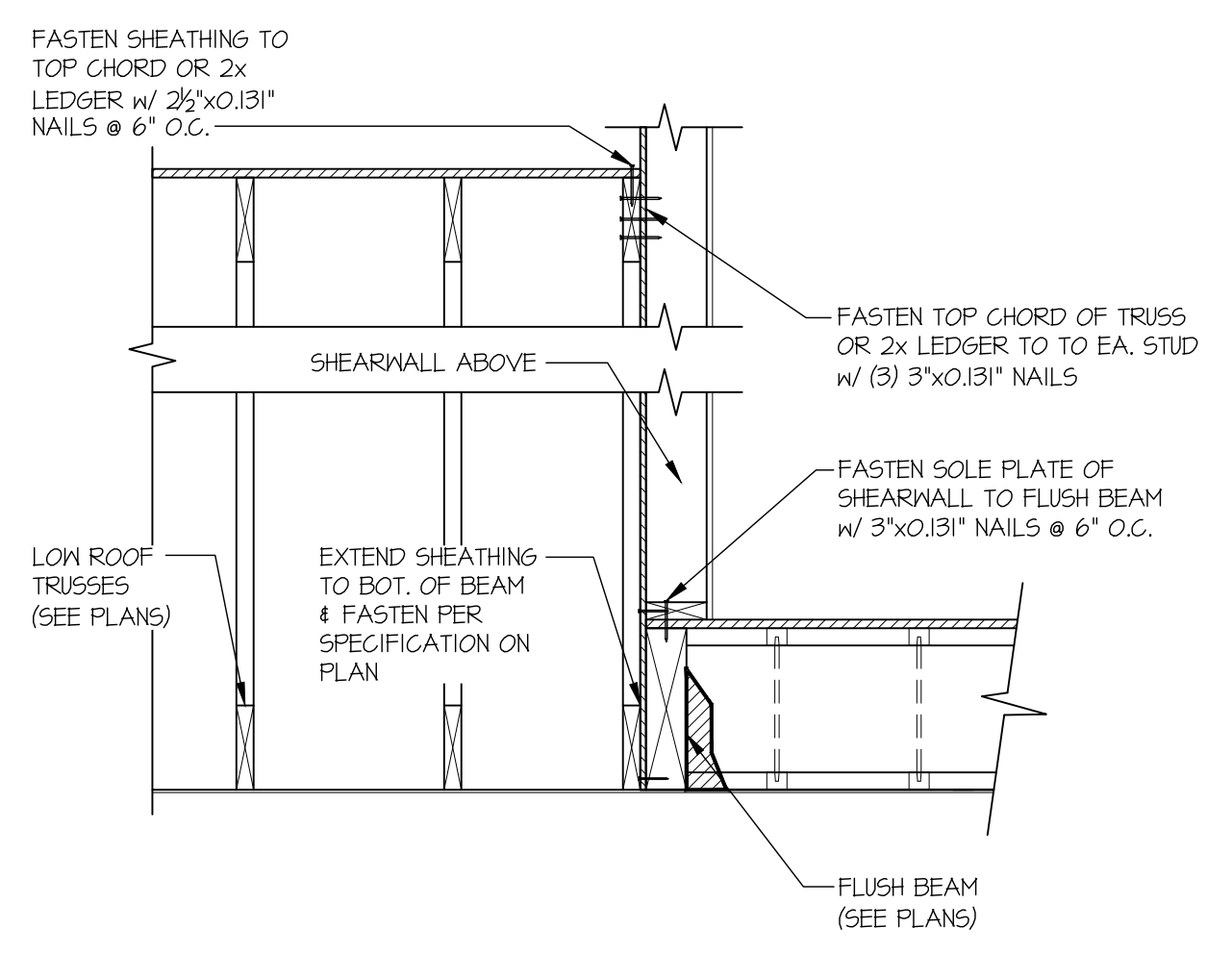
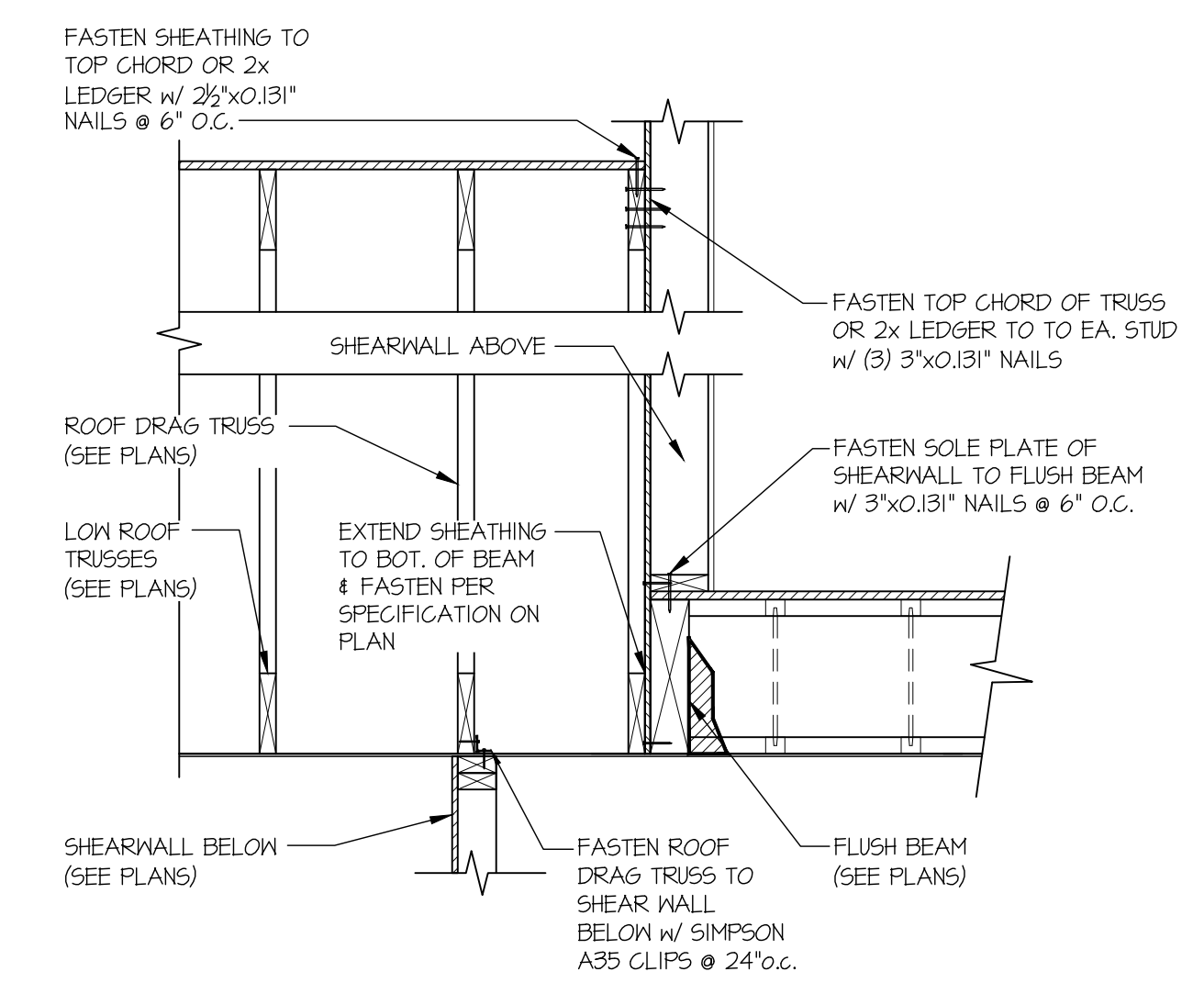
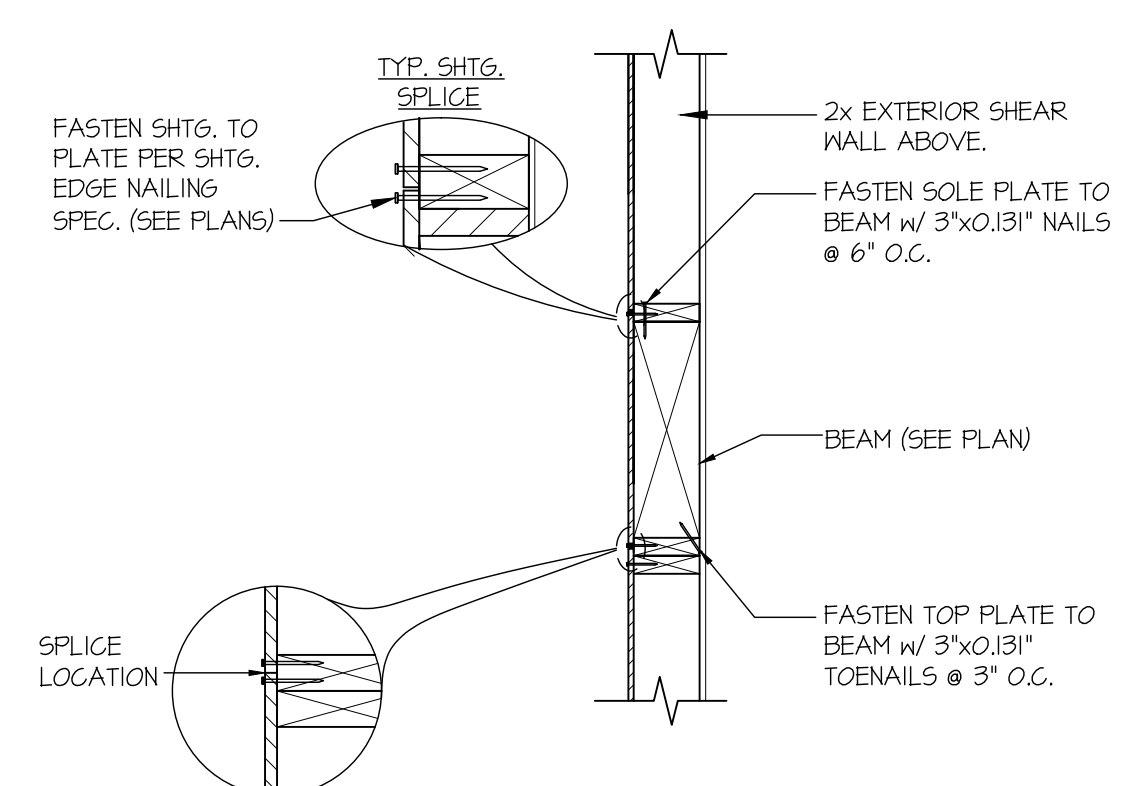
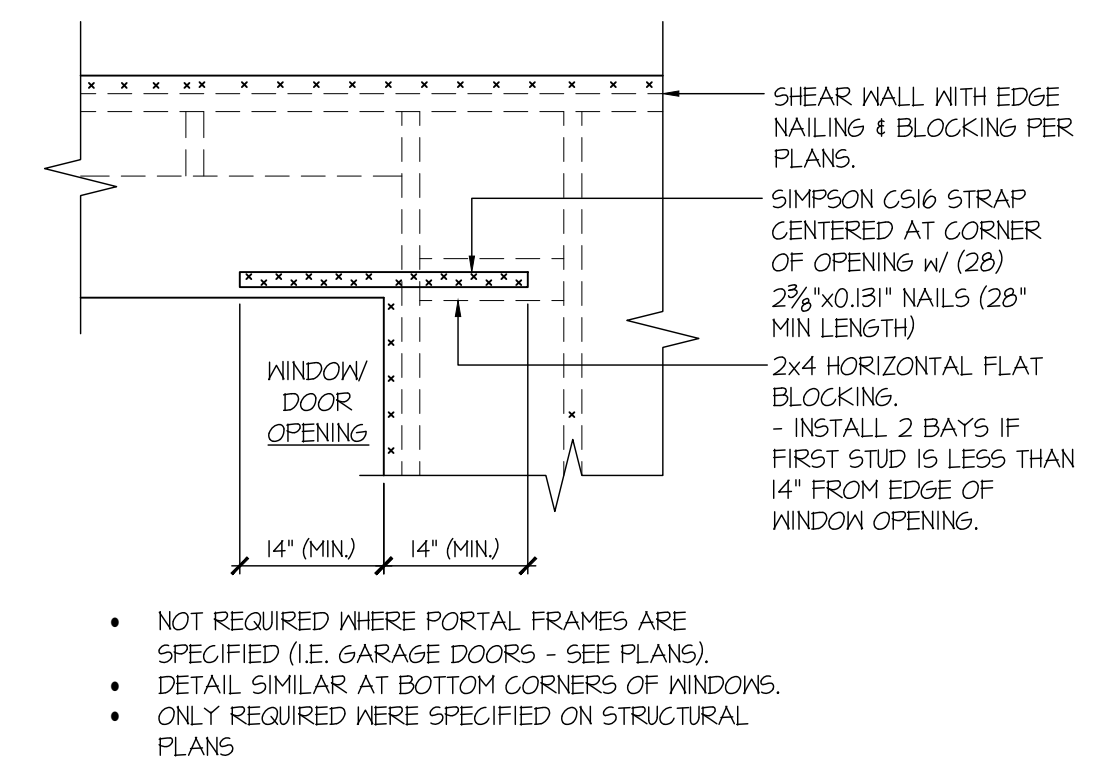
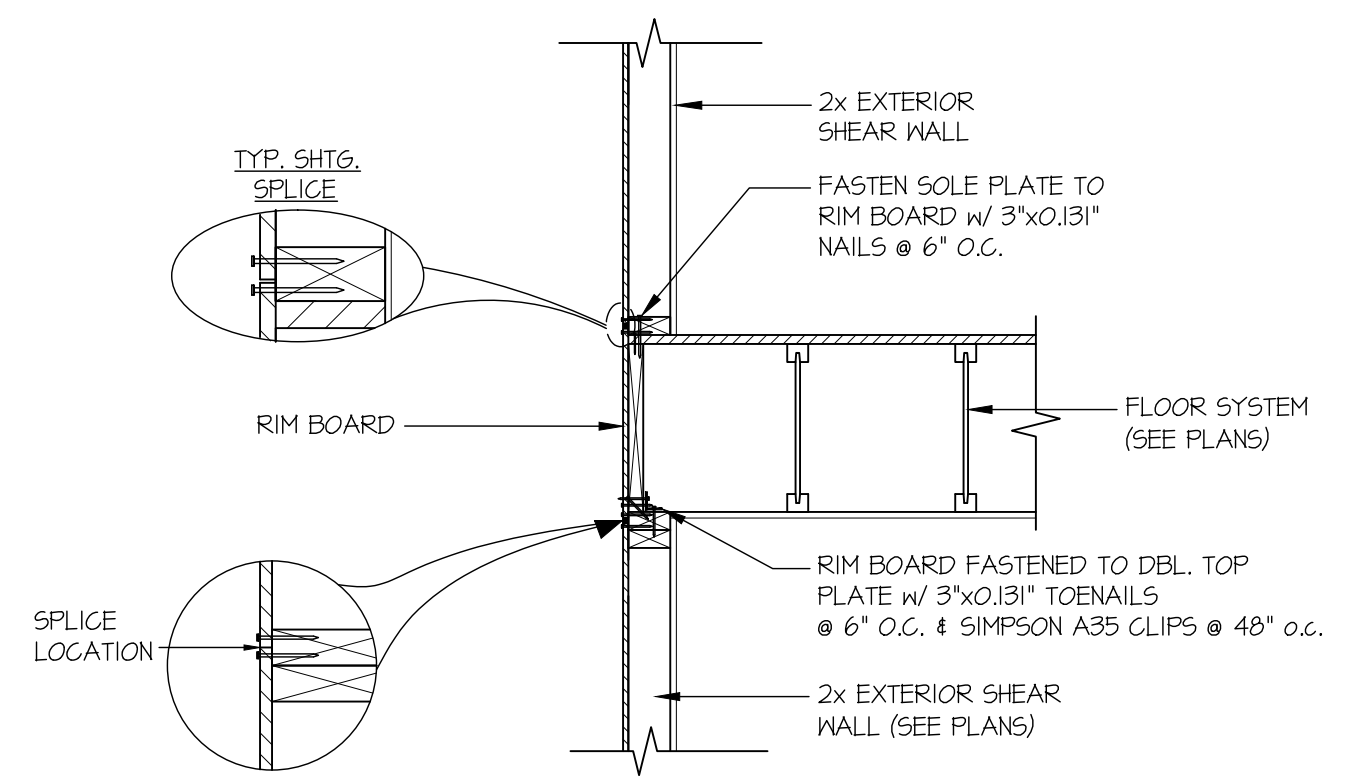
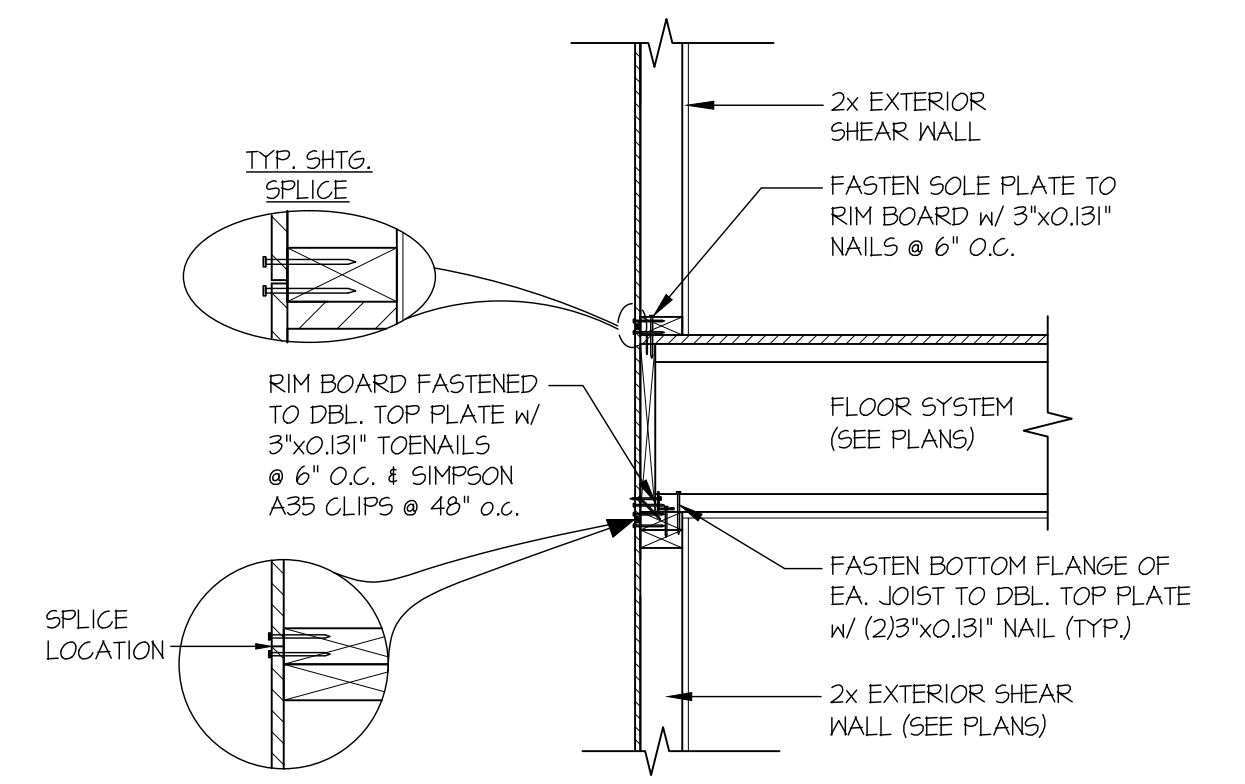
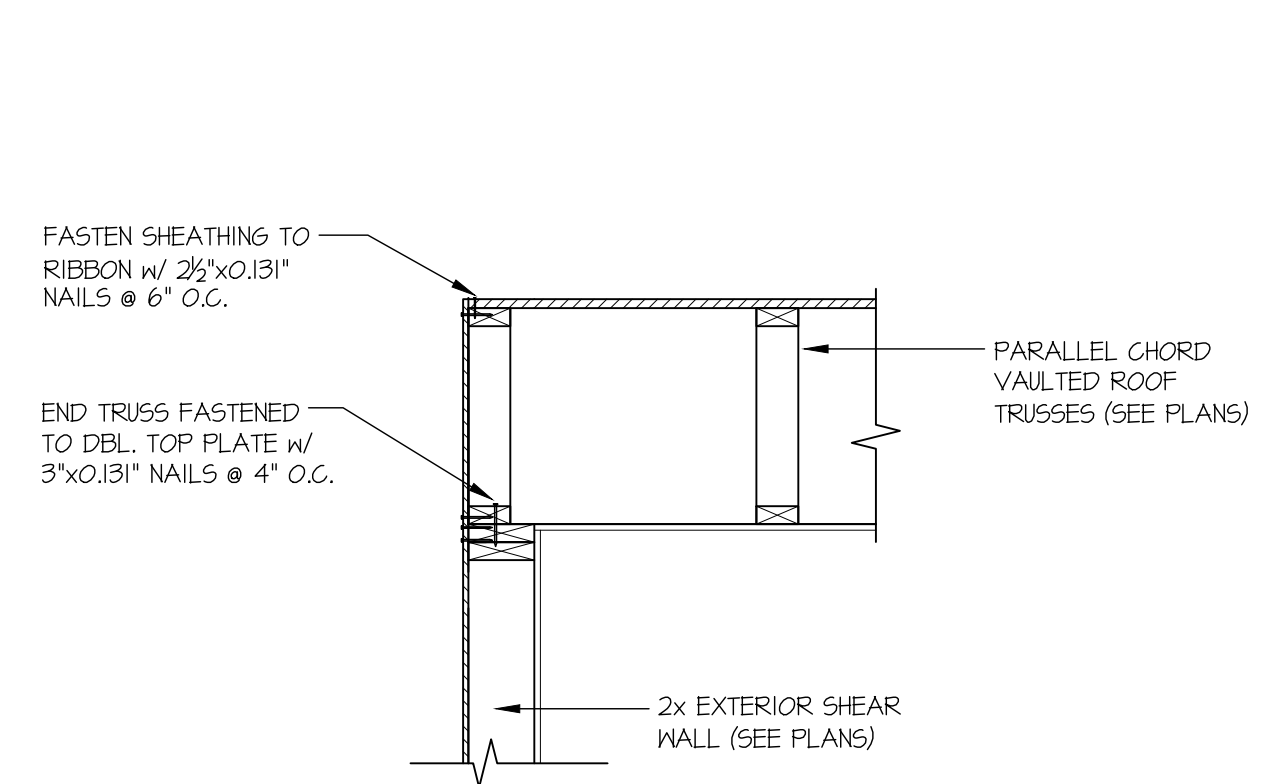
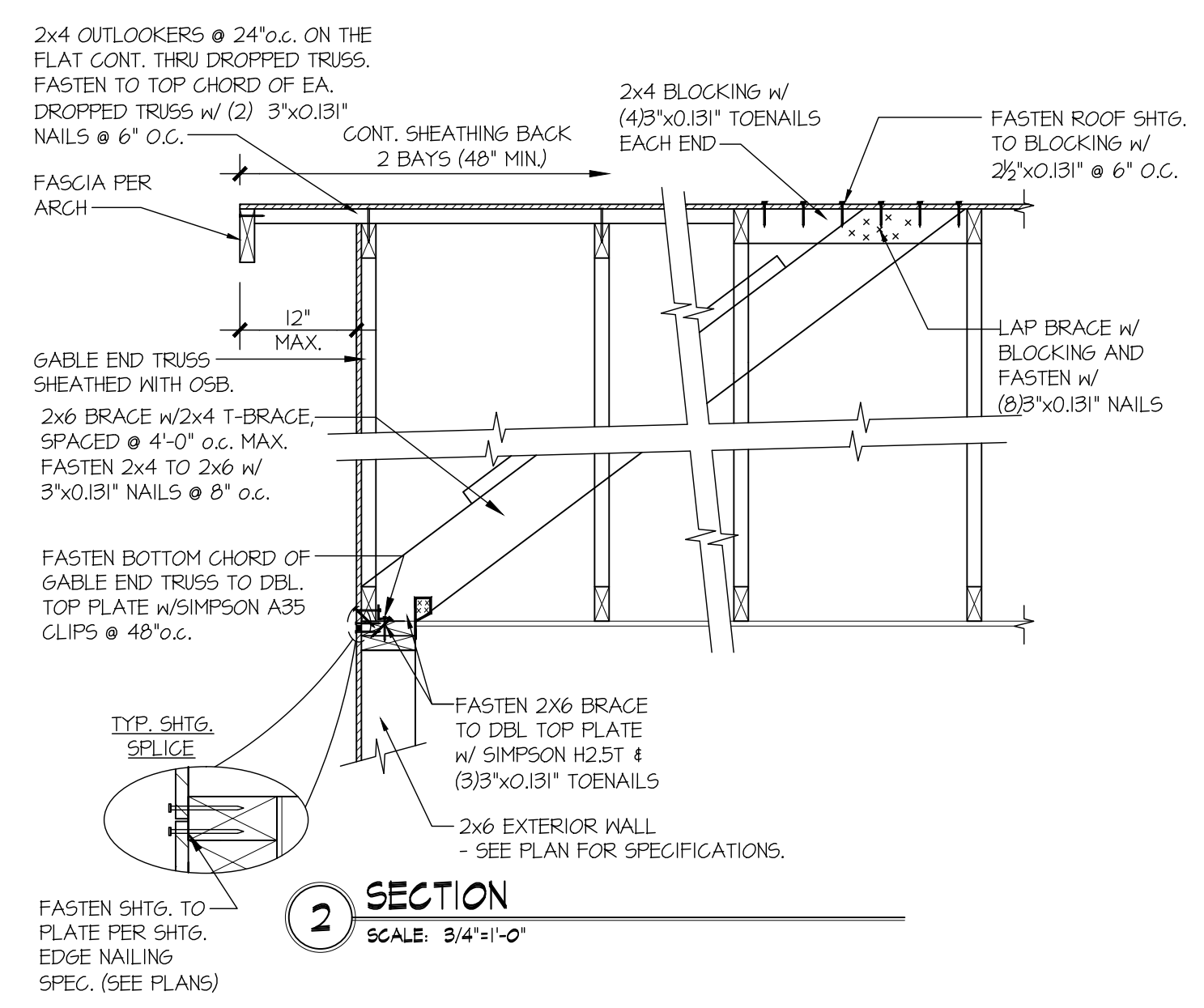
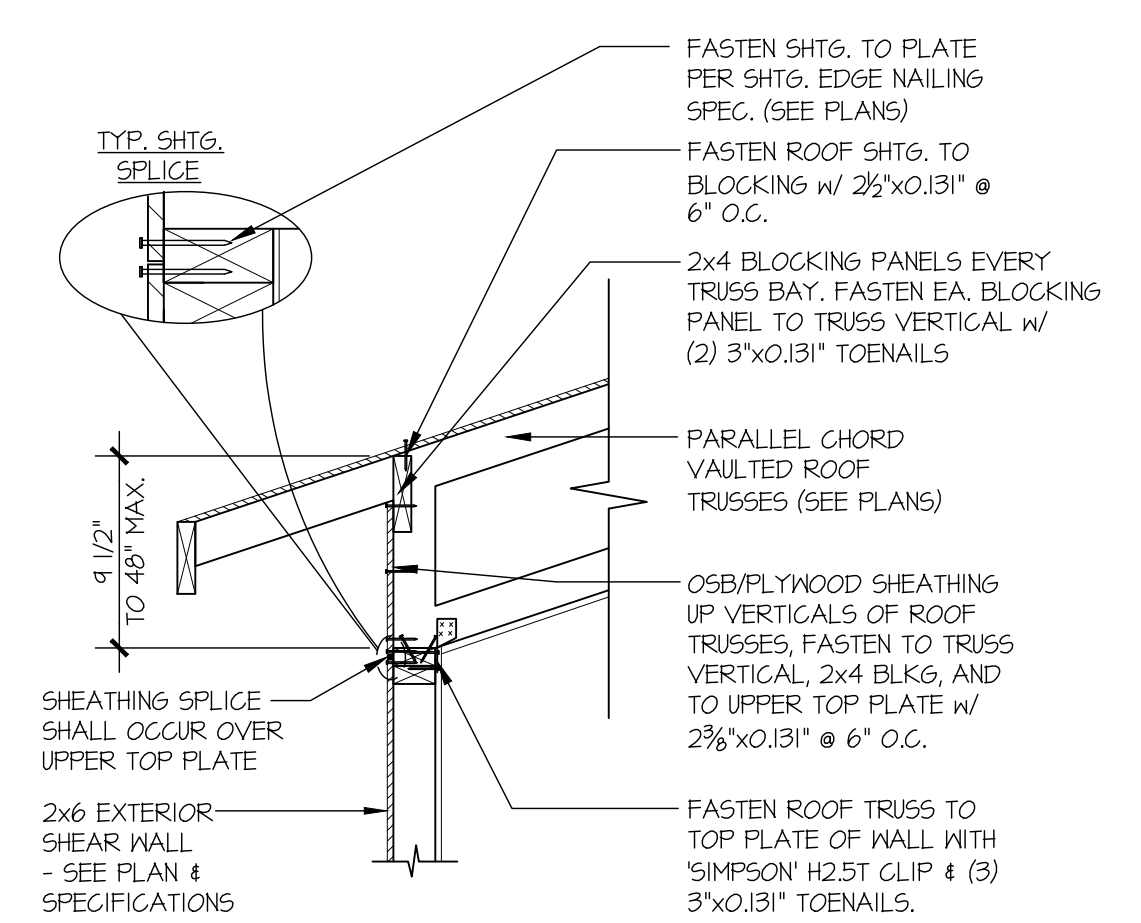
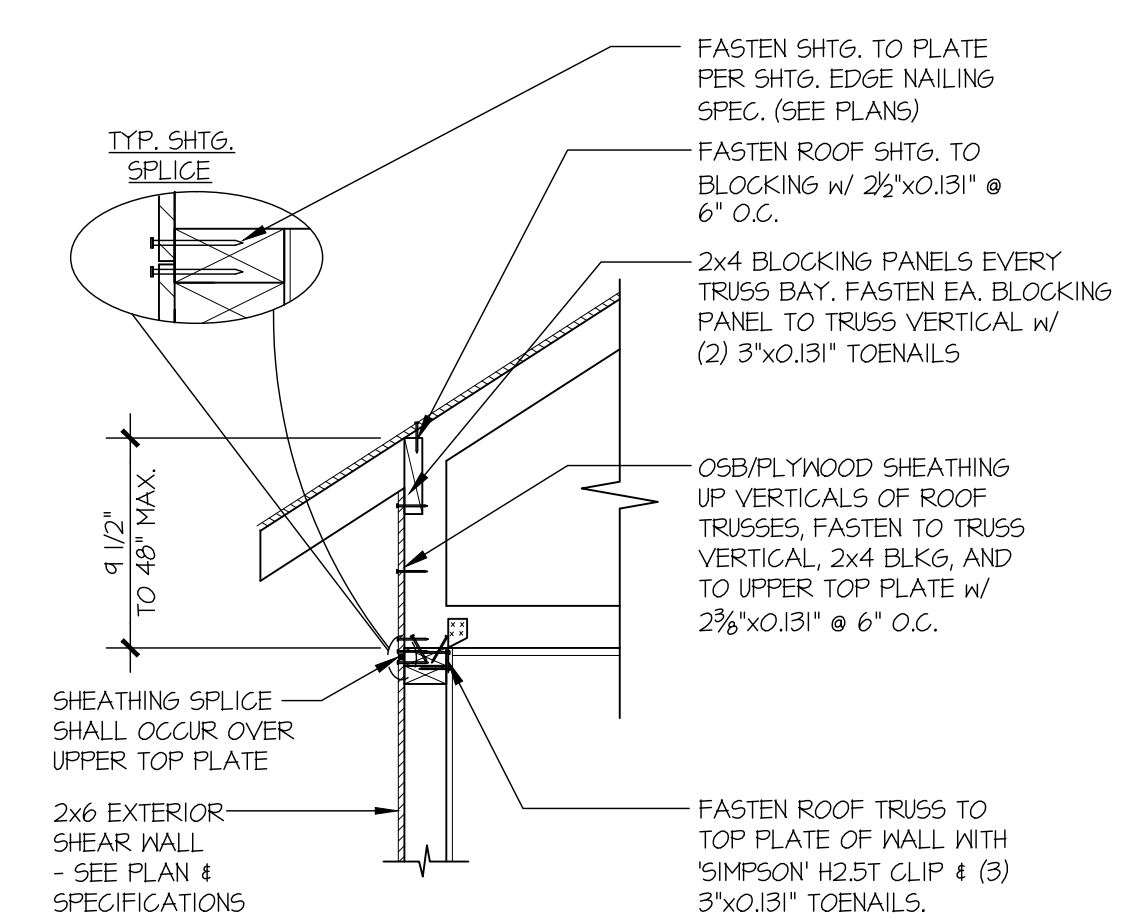
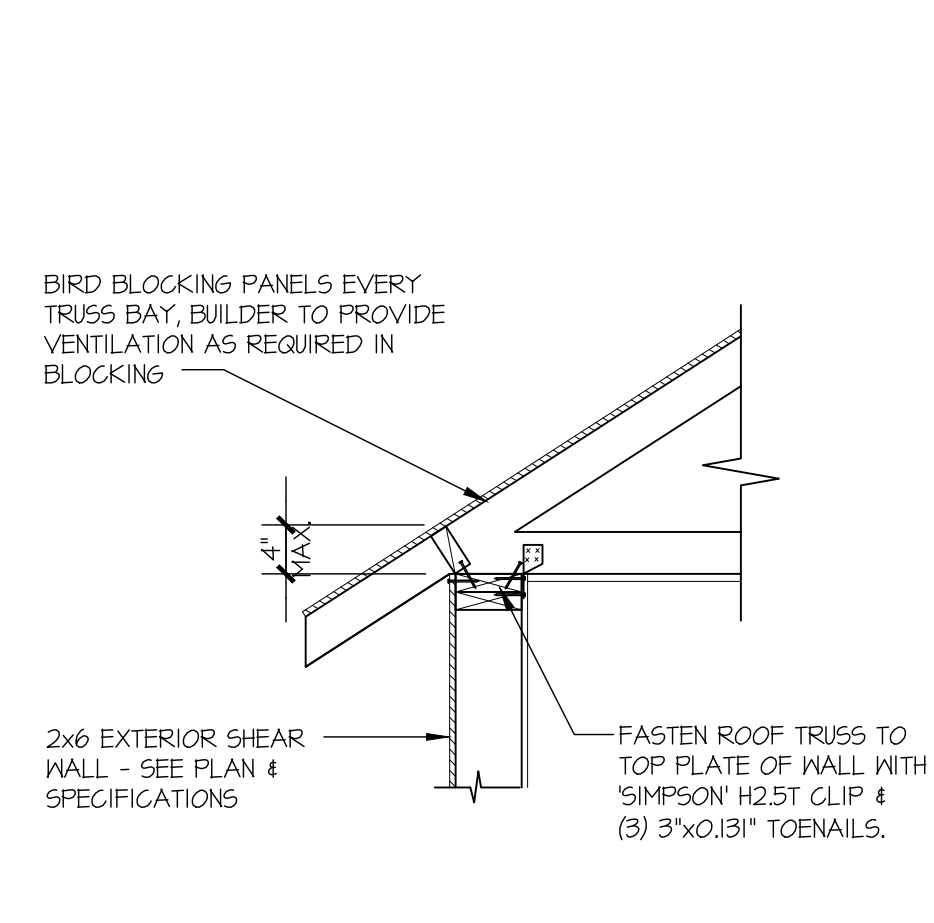
REVISIONS:

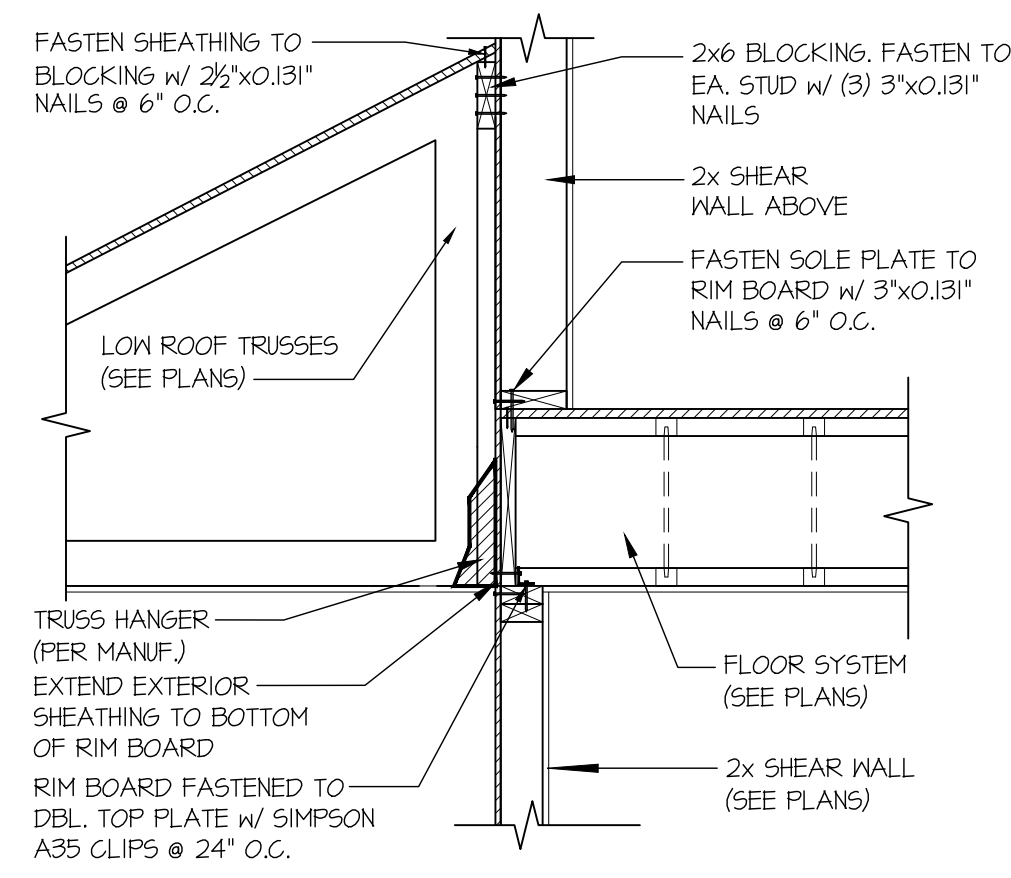
date:	initial:
08/23/2023	SAS
PLAN REVIEW COMMENTS & LARGE REVISIONS	

YEN DESIGN

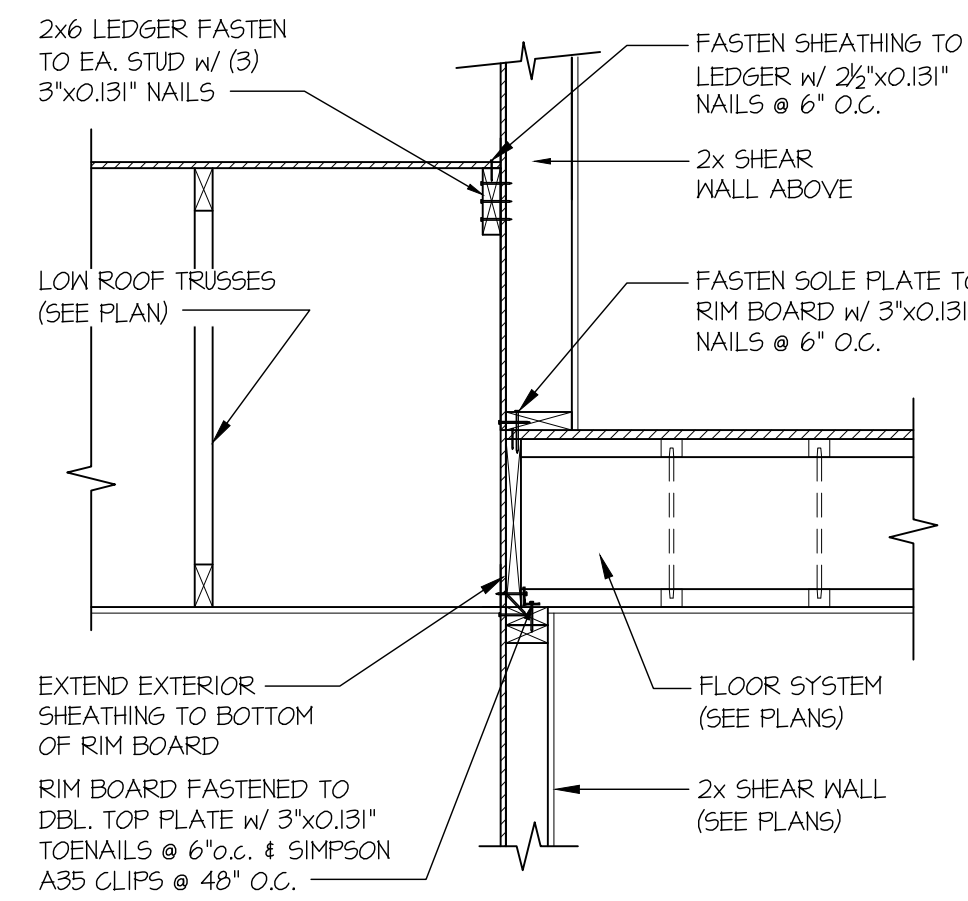
STRUCTURAL DETAILS
4029 97TH AVE SE
MERCER ISLAND, WA

sheet:
SD-2

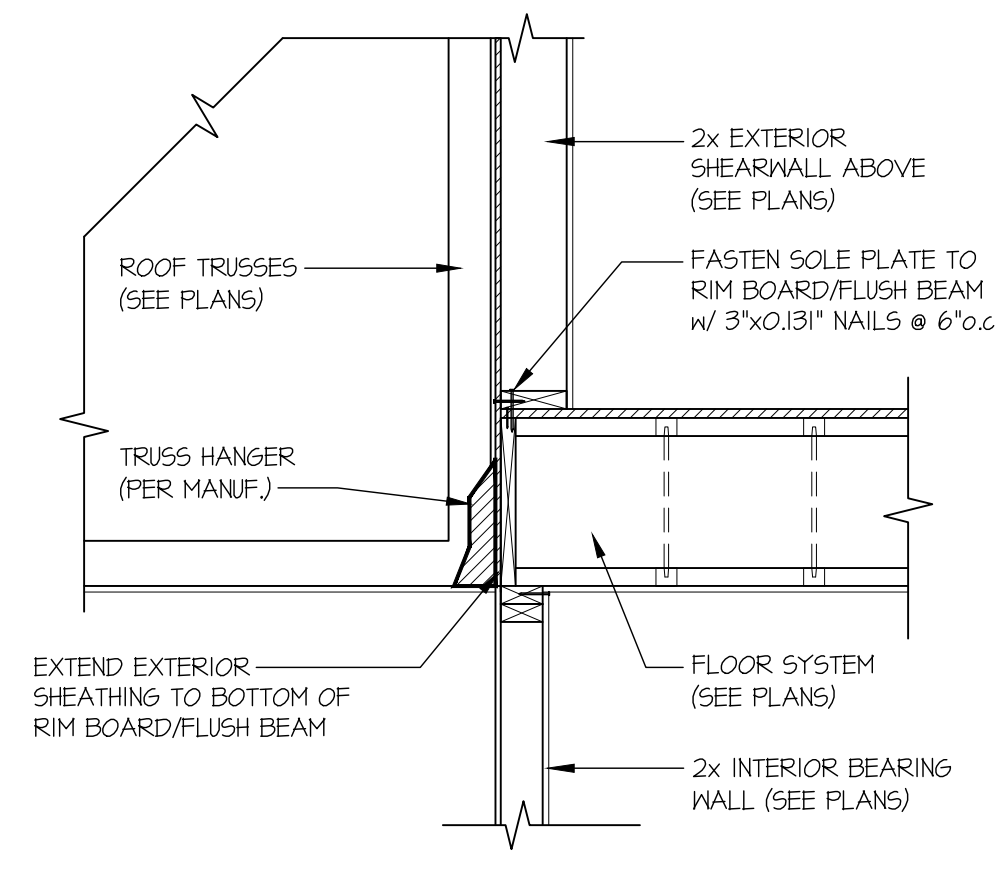




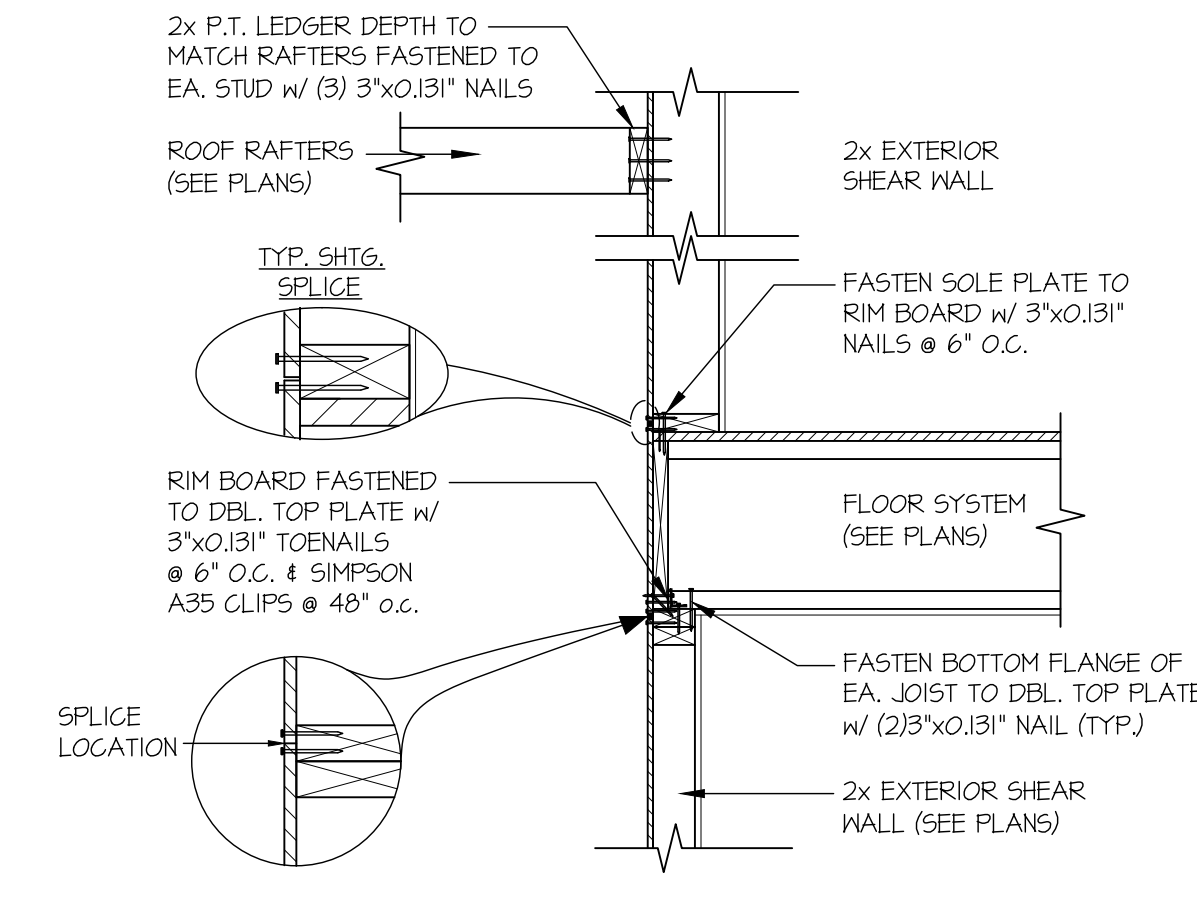
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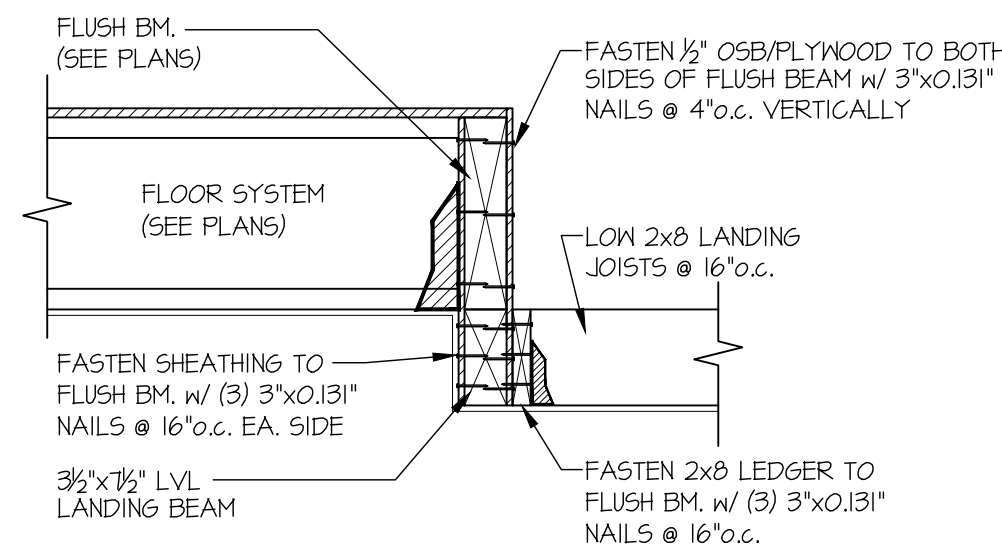
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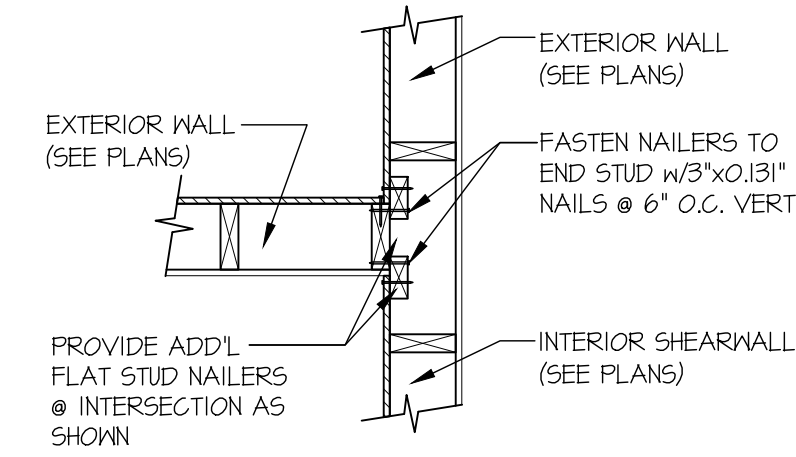
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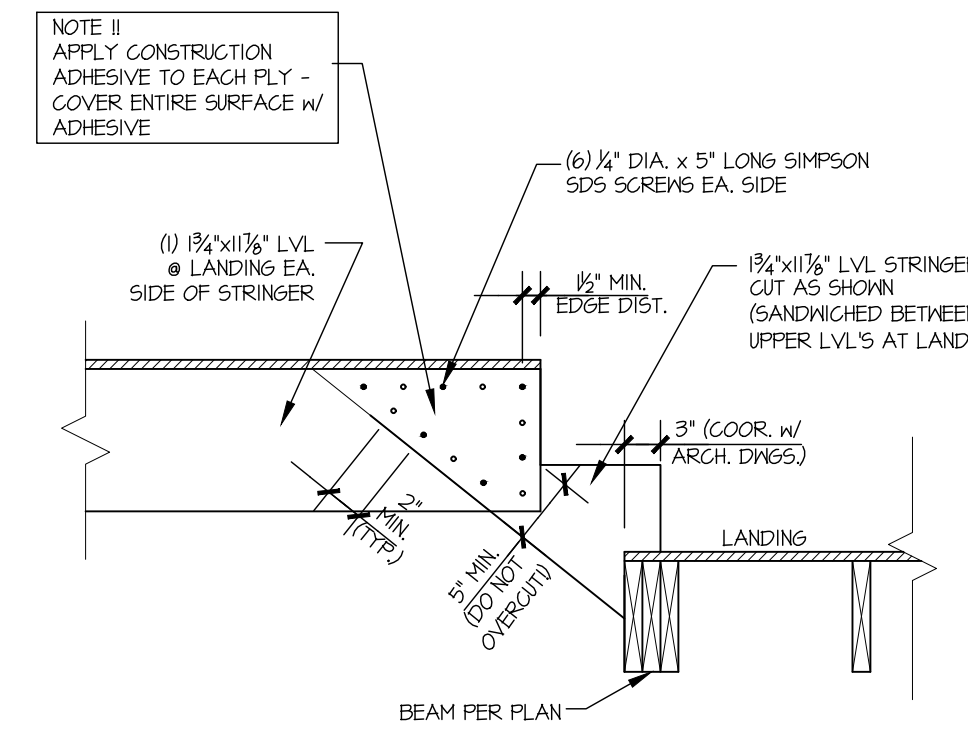
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SCALE: 3/4"=1'-0"



70 SECTION
SCALE: 3/4"=1'-0"



95 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHITG. ON SAME FACE



A MITERED STAIR STRINGER DETAIL
SCALE: 1"=1'-0"

seal:



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STRUCTURAL DETAILS
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sheet:
SD-3