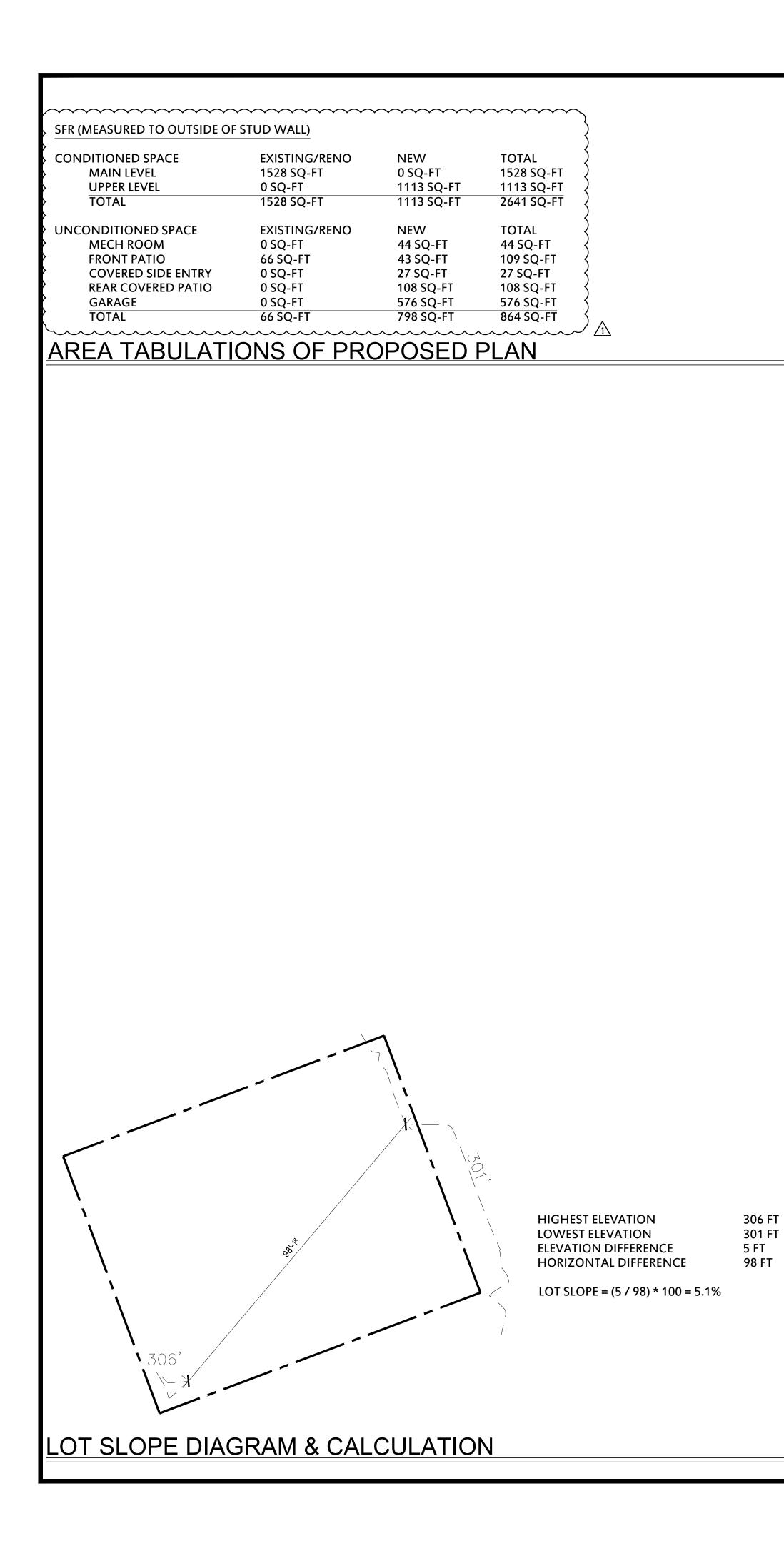
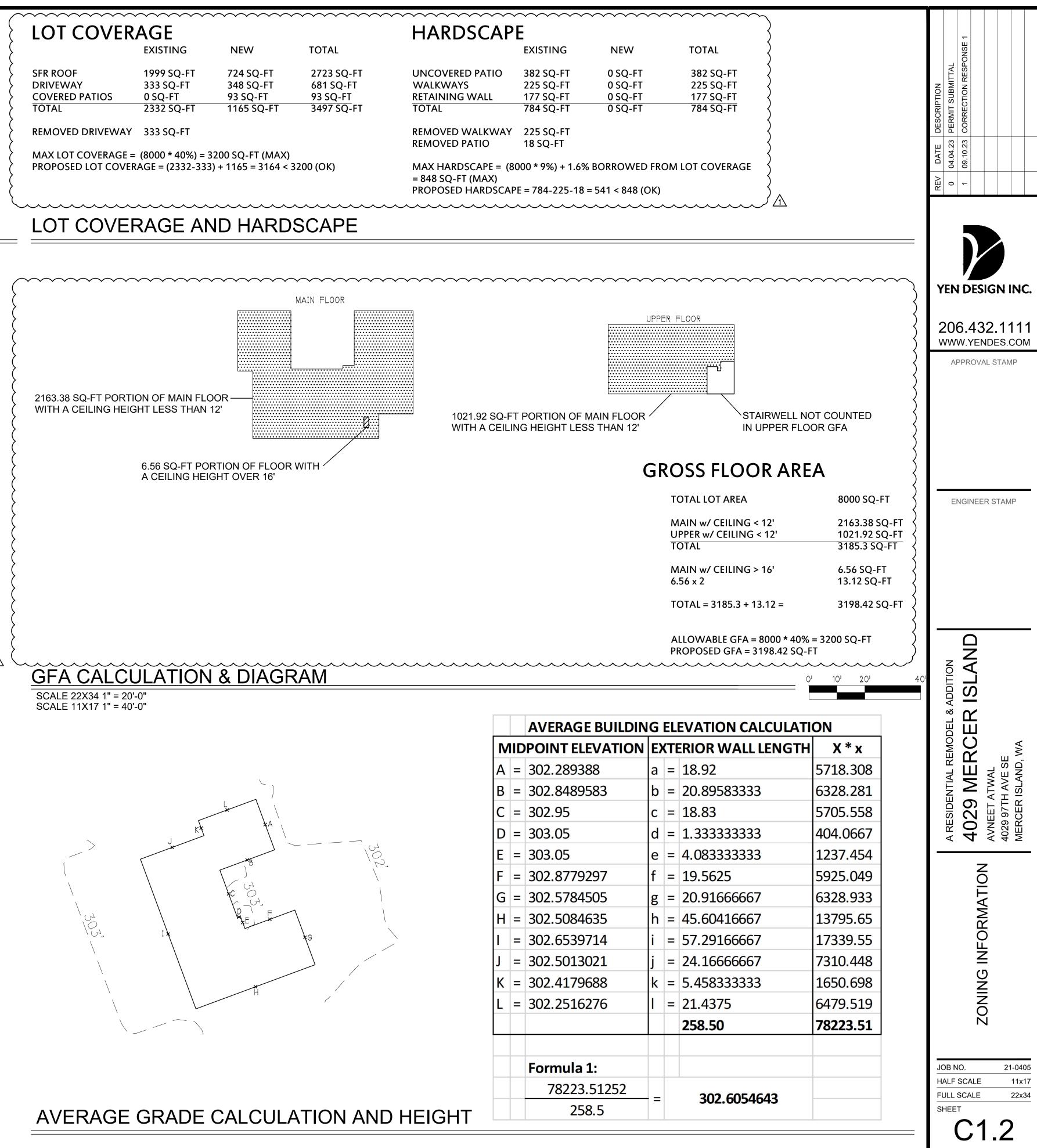
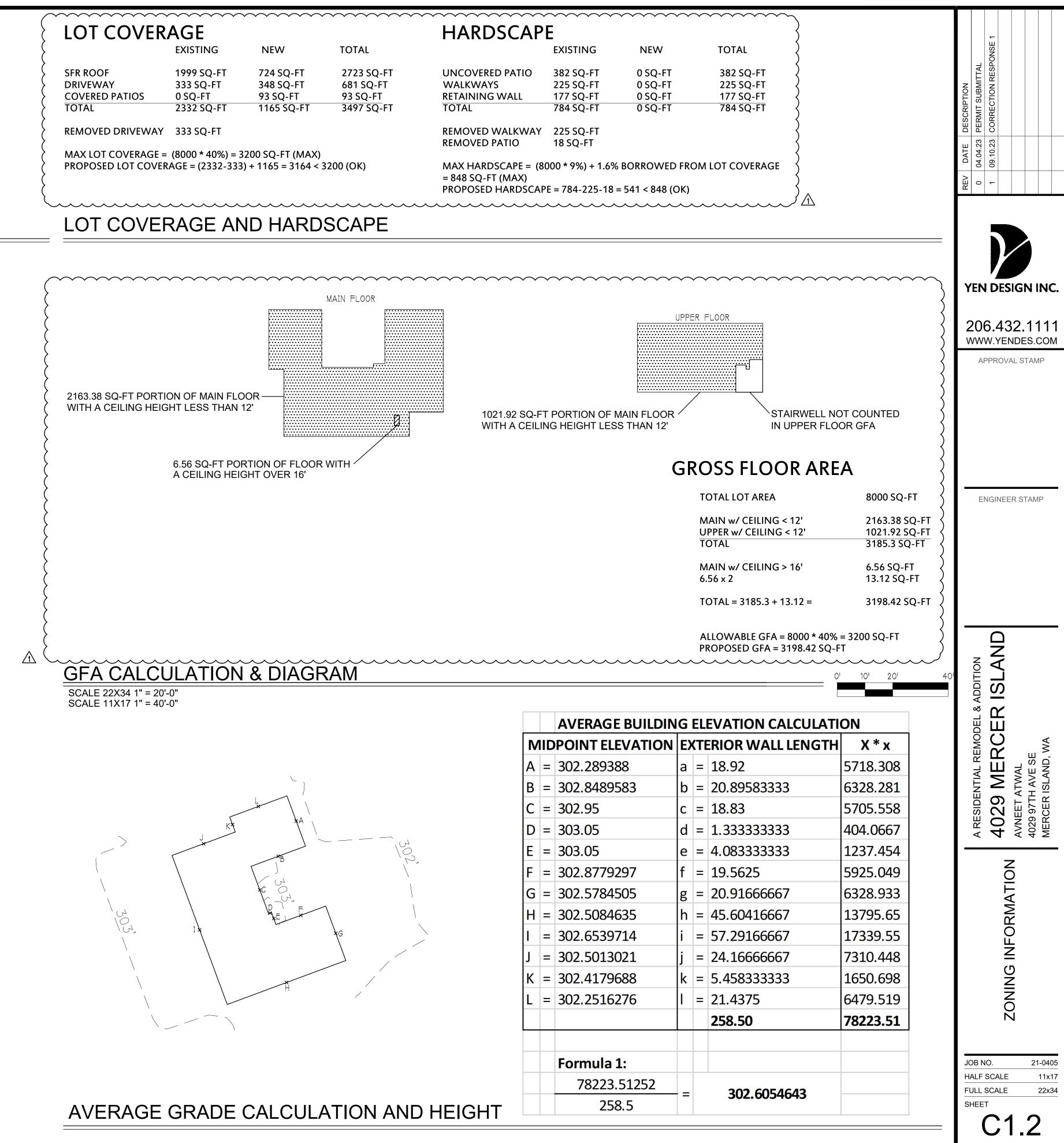
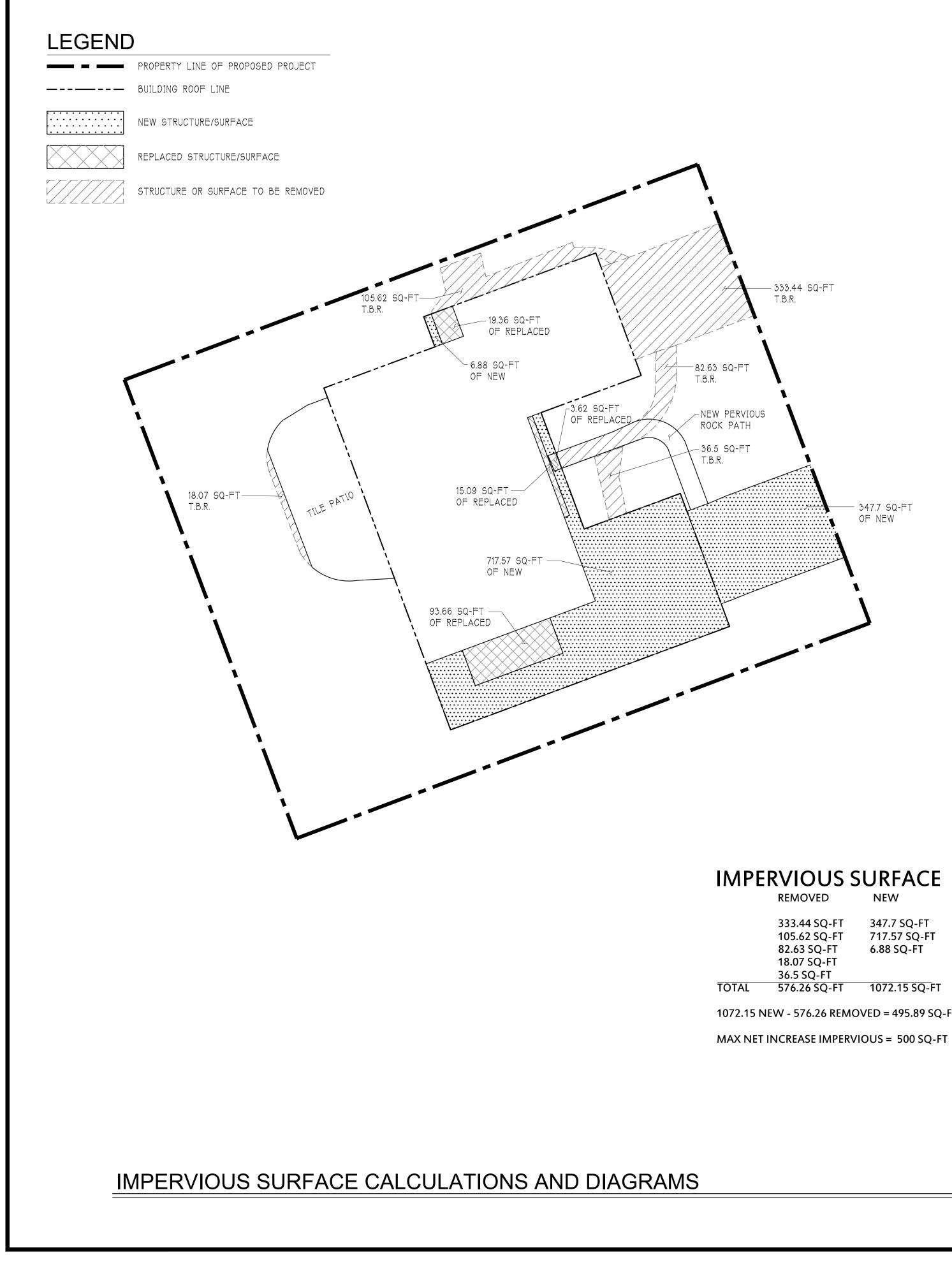


IFO I RAMS DN PLAN DOW		PROPERTY LINE OF PROPOSED PROJECT PROPERTY LINE OF ADJACENT PROPERTIES CONTOUR LINE - 1' ELEVATION CHANGE EXISTING SFR MAIN LEVEL ADDITION UPPER LEVEL ADDITION	REVDATEDESCRIPTION004.04.23PERMIT SUBMITTAL109.10.23CORRECTION RESPONSE 1109.10.23CORRECTION RESPONSE 1
-S LAN		STRUCTURE OR SURFACE TO BE REMOVED CENTER LINE OF STREET EDGE OF CONCRETE ROOF OUTLINE PROPERTY SETBACK EXISTING FENCE EXISTING TREES/FOLIAGE	DESIGN INC. 206.432.1111 WWW.YENDES.COM APPROVAL STAMP
	OWNER ATW JURISDICTION PARCEL NUMBER ZONING YEAR BUILT LOT AREA	INFORMATION AL AVNEET SINGH+GHUMMAN MERCER ISLAND 545600-0020 R-8.4 1955 8,000 SQFT	ENGINEER STAMP
	REAR YARD = 25 F REAR YARD FRONT YARD = 20 FRONT YARD = 20 FRONT YARD SIDE YARD = 15 F SIDE YARD = 15 F SIDE YARD = 15 F SIDE YARD = 30 MAX HEIGHT = 30	EET REQUIRED = 25' D FEET REQUIRED D = 20' EET SUM REQUIRED = X' D FEET TO TOP OF HIGHEST ROOF POINT OFEET TO TOP OF HIGHEST ROOF POINT	A RESIDENTIAL REMODEL & ADDITION 4029 MERCER ISLAND AVNEET ATWAL 4029 97TH AVE SE MERCER ISLAND, WA
	er Island	East Channel Pediatrice Stroum Jewish ommunity Center SE 40th St SE 40th St	SITE PLAN & PROJECT INFO
			JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET C1.1









IMPERVIOUS	S SURFACE
REMOVED	NEW

333.44 SQ-FT	347.7
105.62 SQ-FT	717.
82.63 SQ-FT	6.88
18.07 SQ-FT	
36.5 SQ-FT	
576 26 SO_FT	1072

1072.15 NEW - 576.26 REMOVED = 495.89 SQ-FT

IMPERVIOUS SURFACE

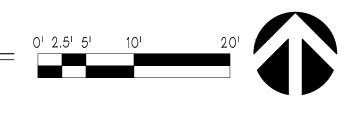
19.36 SQ-FT	347.
3.62 SQ-FT	717.
15.09 SQ-FT	6.88
93.66 SQ-FT	
83.48 SQ-FT	

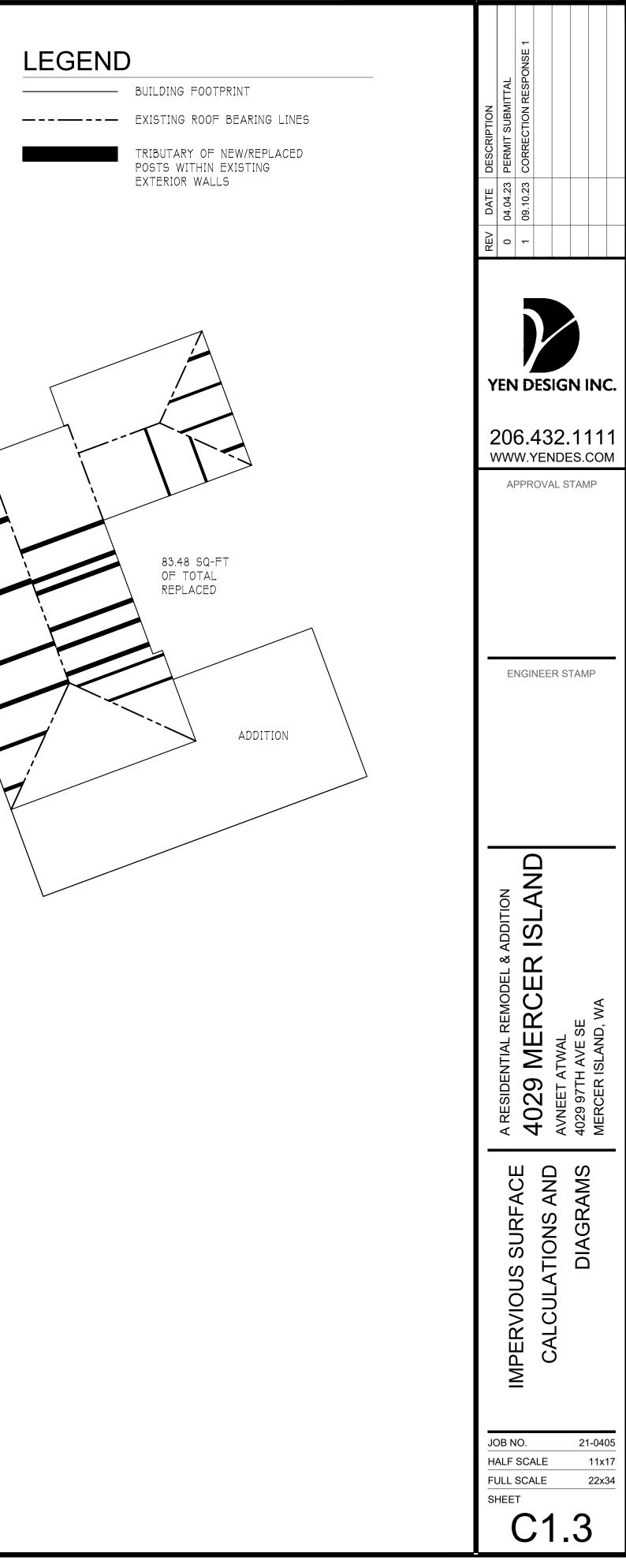
7.7 SQ-FT 7.57 SQ-FT 88 SQ-FT

83.48 SQ-FT 215.21 SQ-FT 1072.15 SQ-FT TOTAL

1072.15 NEW + 215.21 REPLACED = 1287.36 SQ-FT

TOTAL NEW + REPLACED IMPERVIOUS = 1287.36 SQ-FT





CLEARING AND GRADING STANDARD NOTES

1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF MERCER ISLAND CLEARING & GRADING CODE: CLEARING & GRADING EROSION CONTROL STANDARD: LAND USE CODE: UNIFORM BUILDING CODE: PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENT. ANY VARIANCE FROM ADOPTED EROSION STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLYAPPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS AND COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION.

IT IS THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS WILL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES, AND GEOGRID REINFORCED MODULAR BLOCK WALLS MUST BE STAMPED BY A PROFESSIONAL ENGINEER.

2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD. THEREFORE. BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

4. THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING & GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.

5. A REINFORCED SILT FENCE MUST BE INSTALLED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING & GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.

6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED. THIS PAD MUST REMAIN IN THE PLACE UNTIL PAVING IS INSTALLED.

7. CLEARING WILL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30. FROM MAY THROUGH SEPTEMBER 30, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.

8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON THE PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIALS MUST APPROVED BY THE CLEARING & GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKIPLING.

9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPS) ARE REQUIRED

- * PRESERVED NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING & GRADING INSPECTOR. * PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING & GRADING INSPECTOR.
- * INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING & GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL. * INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. ISTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ON -SITE.

10. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT MINIMUM 2% SLOPE, PER UNIFORM BUILDING CODE.

11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON - SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.

12. A PUBLIC INFORMATION SIGN LISTING 24-HOUR EMERGENCY NUMBER FOR THE CITY AND THE CONTRACTOR MAY BE PROVIDED TO THE APPLICANT AT THE TIME THE CLEARING & GRADING PERMIT IS ISSUED. THE APPLICANT MUST POST THE SIGN AT THE PROJECT SITE IN FULL VIEW OF THE PUBLIC AND THE CONTRACTORS, AND IT MUST REMAIN POSTED UNTIL FINAL SIGN -OFF BY THE CLEARING & GRADING INSPECTOR.

13. TURBIDITY MONITORING MAY BE REQUIRED AS A OF CLEARING & GRADING PERMIT APPROVAL. IF REQUIRED. MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING & GRADING INSPECTOR. MONITORING MUST DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN - OFF BY THE CLEARING & GRADING INSPECTOR.

14. ANY PROJECT THAT IS SUBJECTED TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING & GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30.

RESTORATION NOTES

1) Surface restoration of existing asphalt pavement shall be as required by the right-of-way use permit. 2) The Contractor shall restore the Right-of-Way and existing public storm drainage easement(s) after construction to a condition equal or better than condition prior to entry. The Contractor shall furnish a signed release from all affected property owners after restoration has been completed.

FIELD BOOK:		O MIN	TANDEM EN
SURVEYED:		THE OF WASHING	
SURVEY BASE MAP:		1 (51 6 mg 14)	8822 NE 178
DESIGN ENTERED:	J.W		BOTHELL, W
DESIGNED	S.W		(206) 795-567
CHECKED:	S.W	ESCOISTER'S	(200) / 93-30/
		ONAL CONTRACT	

UTILITY NOTES

- 1) The locations of all existing utilities shown hereon have been established by field survey or obtained from available records and should therefore be considered approximate
- only and not necessarily complete. It is the sole responsibility of the excavator to independently verify the accuracy of all utility locations shown, and to further discover and avoid any other utilities not shown here on which may be affected by the implementation of this plan. Immediately notify the responsible Professional Engineer if a conflict exists. 2) Call 1-800-424-5555, or 8-1-1, 72 hours before construction for utility locates.
- 3) The Contractor shall maintain a minimum of five feet (5) horizontal separation between all water and storm drainage lines. Any conflict shall be reported to the Utility and the Professional Engineer prior to construction.
- 4) Avoid crossing water or sewer mains at highly acute angles. The smallest angle measure between utilities should be 45 degrees. 5) It shall be the Contractors responsibility to ensure that no conflicts exist between storm drainage lines and proposed or existing
- utilities prior to construction. 6) At points where existing thrust blocking is found, minimum clearance between concrete blocking and other buried utilities or structures shall be 5 feet.
- 7) Where a new utility line crosses below an existing AC main, the AC pipe shall be replaced with DI pipe to 3 feet past each side of the trench as shown on Standard Detail W-8. Alternatively, where directed by the Utility, the trench shall be backfilled with controlled density fill (CDF, aka flowable fill) from bottom of trench to bottom of AC main.

STORM DRAINAGE NOTES

- Storm pipe shall be PVC conforming to ASTM D-3034 SDR35 or ASTM F-679. Bedding and backfill shall be as shown in the Standard Details. 1) 2) The footing drainage system and the roof downspout system shall not be interconnected and shall separately convey collected
- flows to the conveyance system or to on-site storm water facilities. Prior to final inspection and acceptance of storm drainage work, pipes and storm drain structures shall be cleaned and flushed
- Any obstructions to flow within the storm drain system, (such as rubble, mortar and wedged debris), shall be removed at the nearest structure. Wash water of any sort shall not be discharged to the storm drain system or surface waters 4) Ends of each storm drain stub at the property line shall be capped and located with an 8' long 2" x 4" board, embedded to
- the stub cap and extending at least 3 feet above grade, and marked permanently "STORM". A copper 12 ga. locate wire firmly attached. The stub depth shall be indicated on the marker.
- 5) All grates in roadways shall be ductile iron, bolt-locking, vane grates per the Standard Details. Structures in traffic lanes outside of the curb line which do not collect runoff shall be fitted with round, bolt-locking solid covers. Off-street structures which do not collect runoff shall be fitted with bolt-locking solid covers.
- 6) Vegetation/landscaping in the detention pond, bioretention facility, vegetated roof and/or drainage swale(s) are an integral part of the
- runoff treatment system for the project. Such drainage facilities will not be accepted until plantings are established. 7) All new manholes shall have a minimum inside diameter of 48' and shall conform to the Standard Details. All new catch basins
- shall conform to the Standard Details.
- Side storm stations are referenced from nearest downstream manhole/ catch basin.
- All testing and connections to existing mains shall be done in the presence of a representative of the City of Mercer Island Utilities Department. 10) All public storm drains shall be air tested and have a video inspection performed prior to acceptance (see #23 below). Storm main constructed with flexible pipe shall be deflection tested with a mandrel prior to acceptance
- 11) Storm stubs shall be tested for acceptance at the same time the main storm is tested.
- 12) All manholes/ catch basins in unpaved areas shall include a concrete seal around adjustment rings per Standard Details.
- 13) All storm main extensions within the public right-of-way or in easements must be staked by a surveyor licensed in Washington State for line and grade and cut sheets provided to the Professional Engineer, prior to starting construction.
- 14) Storm drainage mainlines, stubs and fittings shall be constructed using the same pipe material and manufacturer. Connections between stubs and the mainline will be made with a tee fitting. Tee fitting shall be from same manufacturer as pipe. Cut-in connections are only allowed when connecting a new stub to an existing mainline.
- 15) Manholes, catch basins and vaults are considered to be permit-required confined spaces. Entry into these spaces shall be in accordance with Chapter 296-809 WAC.
- 16) Placement of surface appurtenances (MH lids, valve lids, etc.) in tire tracks of traffic lanes shall be avoided whenever possible. 17) The Contractor shall perform a video inspection and provide a DVD of the storm pipe interior for the Citys review. The video shall provide a minimum of 14 lines per millimeter resolution and cover the entire length of the applicable pipe. The camera shall be moved through the pipe at a uniform rate (=30 ft/min), stopping when necessary to ensure proper documentation of the pipe condition. The video shall be taken after installation and cleaning to insure that no defects exist. The project will not be accepted until all defects have been repaired.
- 18) Clearly label public and private systems on the plans. Private systems shall be marked private and shall be maintained by the property owner(s).
- 19) All concrete structures (vaults, catch basins, manholes, oil/water separators, etc.) shall be vacuum tested.
- 20) Manholes, catch basins and inlets in easements shall be constructed to provide a stable, level grade for a minimum radius of 2.5 feet around the center of the access opening to accommodate confined space entry equipment.
- 21) Tops of manholes/ catch basins within public right-of-way shall not be adjusted to final grade until after paving.
- 22) Contractor shall adjust all manhole/ catch basin rims to flush with final finished grades, unless otherwise shown.
- 23) Contractor shall install, at all connections to existing downstream manholes/catch basins, screens or plugs to prevent foreign materials from entering existing storm drainage system. Screens or plugs shall remain in place throughout the duration of the construction and shall be removed along with collected debris at the time of final inspection and in the presence of a representative of the City of Bellevue Utilities Department.
- 24) Before commencement of trenching, the Contractor shall provide filter fabric for all downhill storm drain inlets and catch basins, which will receive runoff from the project site. The contractor shall periodically inspect the condition of all filter fabric and replace as necessary.
- 25) Minimum cover over storm drainage pipe shall be 2 feet, unless otherwise shown. 26) Redirect sheet flow, block drain inlets and/or curb openings in pavement and install flow diversion measures to prevent construction silt laden
- runoff and debris from entering excavations and finish surfaces for bioretention facilities and permeable pavements. 27) Where amended soils, bioretention facilities, and permeable pavements are installed, these areas shall be protected at all times from being over-compacted. If areas become compacted, remediate and till soil in accordance with the Citys Project Representatives requirements at no additional cost in order to restore the systems ability to infiltrate.

NGINEERING CONSULTANT INC 8TH ST /A 98011

GENERAL NOTES

PROPOSED PROJECT SITE



VICINITY MAP

NTS

LEGAL DESCRIPTION MERCER WOOD ADD

PARCEL NUMBER: 5456000020

PROPERTY OWNER: ATWAL AVNEET SINGH & GHUMMAN 4029 97TH AVE SE MERCER ISLAND, WA 98040

TEL:206-795-5674

PROJECT ENGINEER: STEVE WU 8822 NE 178TH ST BOTHELL, WA 98011

ATWA	L'S RES	IDEN	CE
4029	97TH A	VE S	SE
MERCER	ISLAND	WA	98040

SHEET OF SHEETS C-1.00

GENERAL TESC NOTES

Temporary erosion and sedimentation control facilities (TESC) (including but not limited to temporary construction entrance, catch basin protection, silt fence installation, interceptor ditches, sedimentation ponds and straw bales) must be in place and Inspected by the City of Mercer Island prior to demolition, clearing/grading, etc. Spoil piles shall be kept covered. All City streets shall be kept free of mud and construction debris. TESC facilities shall be maintained until final landscaping is completed. No sediment-laden water shall enter Lake Washington, the public storm drain system, water courses, sensitive areas or the adjacent properties. Not all of these facilities may be identified on this plan but may be required during construction. Contractor will adhere to additional requirements as conditions warrant and the project progresses, including cleaning of downstream catch basins and drainage facilities of sediment from this project.

PLAN NOTES

- 1. Approval of this temporary erosion and sedimentation control (TESC) plan does not constitute an approval of permanent road or drainage design.
- 2. The implementation of these TESC plans and the construction, maintenance, replacement, and upgrading of these TESC facilities is the responsibility of the owner/agent and/or their contractor until all construction is approved.
- 3. The boundaires of the clearing limits shown on this plan shall be clearly flagged by a continuous length of survey tape (or fencing, if required) prior to construction. During the construction period, no disturbance beyond the clearing limits shall be permitted. The clearing limits shall be maintained by the owner/agent and/or their contractor for the duration of construction.
- 4. The TESC facilities shown on this plan must be constructed prior to or in conjunction with all clearing and grading so as to ensure that the transport of sediment to surface waters, drainage systems, and adjacent properties is minimized.
- 5. The TESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these TESC facilities shall be upgraded as needed for unexpected storm events and modified to account for changing site conditions (e.g., additional sump pumps, relocation of ditches, hay bales and silt fences, etc.).
- 6. The TESC facilities shall be inspected daily by the owner/agent and/or their contractor and maintained to ensure continued proper functioning. Written records shall be kept of weekly reviews of the TESC facilities during the wet season (Oct. 1 to April 30) and of monthly reviews during the dry season (May 1 to Sept. 30).
- 7. Any areas of exposed soils, including roadway embankments, that will not be disturbed for two days during the wet season (Oct. 1 to April 30) or seven days during the dry season (May 1 to Sept. 30). shall be immediately stabilized with approved TESC methods (e.g., seeding, mulching, plastic coverni g, etc.). 8. Any area needing TESC measures that do not require immediate attention shall be addressed within fifteen (15) days.
- 9. The TESC fa cilities on inactive sites shall be inspected and maintained a minimum of once a month or within forty- eight (48) hours following a storm event. 10. At no time shall more than one (1) foot of sediment be allowed to accumulate within a catch basin. All catch basins and conveyance lines shall be cleaned prior to final grading and/or paving. The cleaning operation shall not flu sh sedimentl-aden water into the downstream system.
- 11. Stabilized construction entrances and roads shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures, such as wash pads and sediment traps, may be required to ensure that all paved areas are kept clean for the duration of the project.
- 12. Any permanent flow control facility used as a temporary settling basin shall be modified with the necessary temporary erosion control measures and shall provide adequate storage capacity.
- 13. Where straw mulch for temporary erosion control is required, it shall be applied at a minimum thickness of 2 to 3 inches.
- 14. Prior to the beginning of the wet season (Oct. 1), all disturbed areas shall be reviewed to identify which ones can be seeded in preparation for the winter rains. Disturbed areas shall be seeded within one week of the beginning of the wet season. The City can require seeding of additional areas in order to protect surface waters, adjacent properties, or drainage facilities.

Construction Sequence:

- 1. Hold an onsite pre-construction meeting.
- 2. Flag or fence clearing limits.
- 3. Install catch basin protection, if required.
- 4. Grade and install construction entrance(s).
- 5. Install perimeter protection (silt fence, brush barrier, etc.).
- 6. Construct sediment pond(s) and/or trap(s).
- 7. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
- 8. Maintain TESC measures in accordance with City standards and manufacturer's recommendations.
- 9. Relocate surface water controls or TESC measures, or install new measures so that as site conditions change, the TESC is always in accordance with the City of Mercer Island Temporary Erosion and Sedimentation Control Requirements.
- 10. Cover all areas that will be un-worked for more than two days during the wet season (Oct. 1 to April 30) or seven days during the dry season (May 1 to Sept. 30) with straw, wood fiber mulch, compost, plastic sheeting, or equivalent.
- 11. Stabilize all areas within seven days of reaching final grade.
- 12. Seed or sod any areas to remain un-worked for more than 30 days.
- 13. Upon completion of the project, stabilize all disturbed areas and remove TESC measures if appropriate.

Reference: King County Surface Water Design Manua, I Appendix D - 10.3

		MIN
FIELD BOOK:		8. 20 4.
SURVEYED:		State of VASHING
SURVEY BASE MAP <u>:</u>		1 (5 4-3 4)
DESIGN ENTERED:	J.W	
DESIGNED	S.W	
 CHECKED:	S.W	ESS CISTER STUD
		TONAL CONT



TREE PROTECTION NOTES

Avoid the following conditions during construction:

1. Allowing run off or spillage of damaging materials into the approved Treet Protected Zone.

2. Storing construction materials or portable toilets, stockpiling of soil, or parking or driving vehicles within the TPZ.

3. Cutting, breaking, skinning, or bruising roots, branches, or trunks without first obtaining authorization from the Project Arborist.

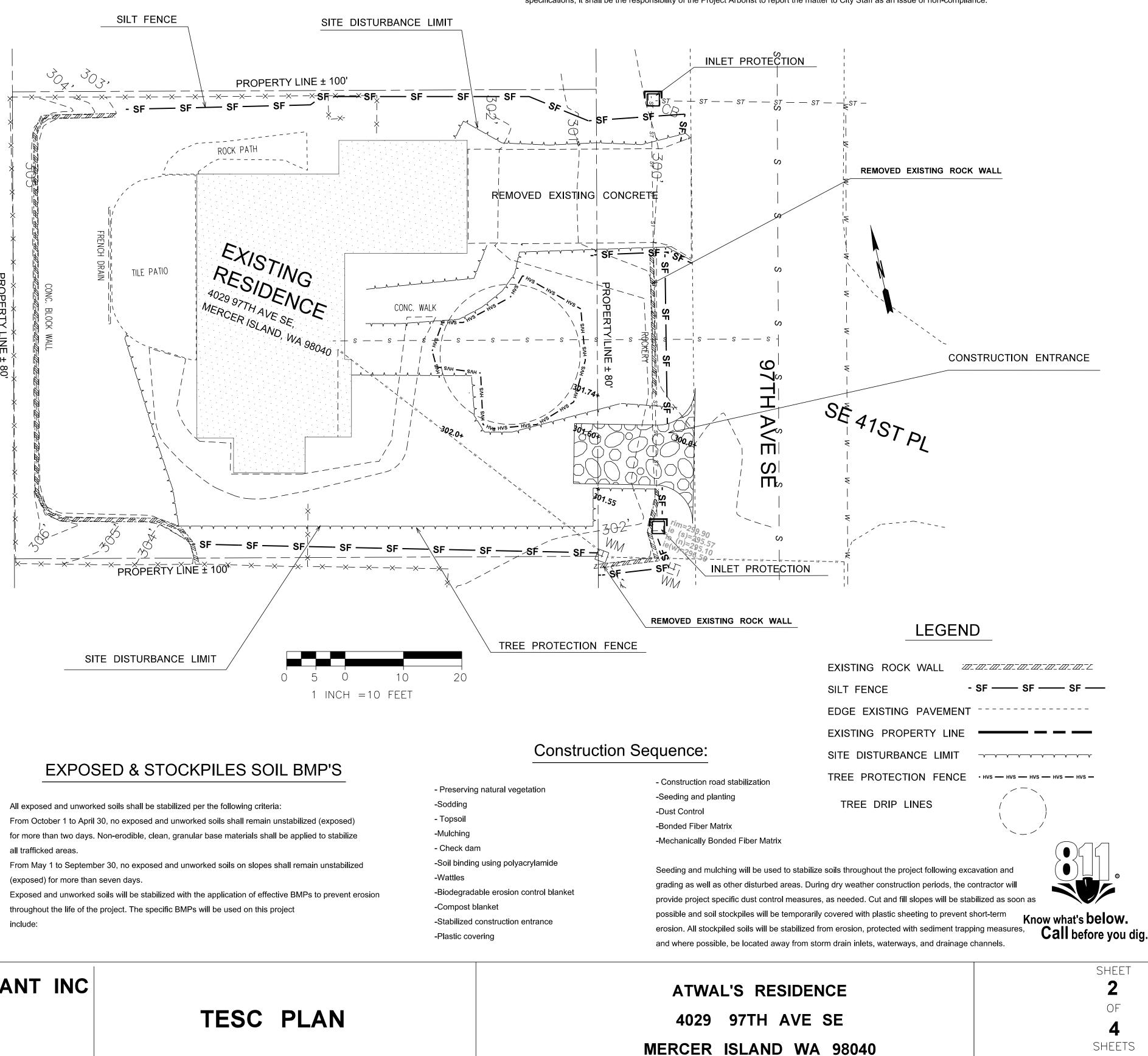
4. Discharging exhaust into foliage.

5. Securing cable, chain, or rope to trees or shrubs.

6. Trenching, digging, tunneling or otherwise excavating within the TPZ of the tree(s) without first obtaining authorization from the Project Arborist. Periodically inspect during construction - at four-week intervals - to assess and monitor the effectiveness of the TPP and provide recommendations for any additional care or treatment. More frequent may be required based on the TPP.

The following activities should be observed and inspected by the project arborist during the construction phase to ensure compliance with the approved TPP:

1. Only excavation by hand or compressed air shall be allowed within the TPZ of trees. Machine trenching shall not be allowed.



TANDEM ENGINEERING CONSULTANT INC

2. In order to avoid injury to tree roots, when a trenching machine is being used outside of the TPZ of trees, and roots are encountered smaller than 2", the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. All exposed roots are to be protected with dampened burlap.

3. Route pipes outside of the TPZ of a protected tree to avoid conflict with roots. Where it is not possible to reroute pipes or trenches, bore or tunnel beneath the TPZ of the tree. The boring shall take place not less than 3" below the surface of the soil in order to avoid encountering feeder roots. All boring equipment must be staged outside of the TPZ.

4. All grade changes adjacent to the TPZ of a significant tree shall be supervised by the Project Arborist. Cuts or Fills of soil that are adjacent to the TPZ will have a retaining wall system designed in consultation with the Project Arborist and approved in writing by City Staff.

5. Any damage due to construction activities shall be reported to the Project Arborist and City Staff within six hours so that remedial action can be taken.

C-2.00

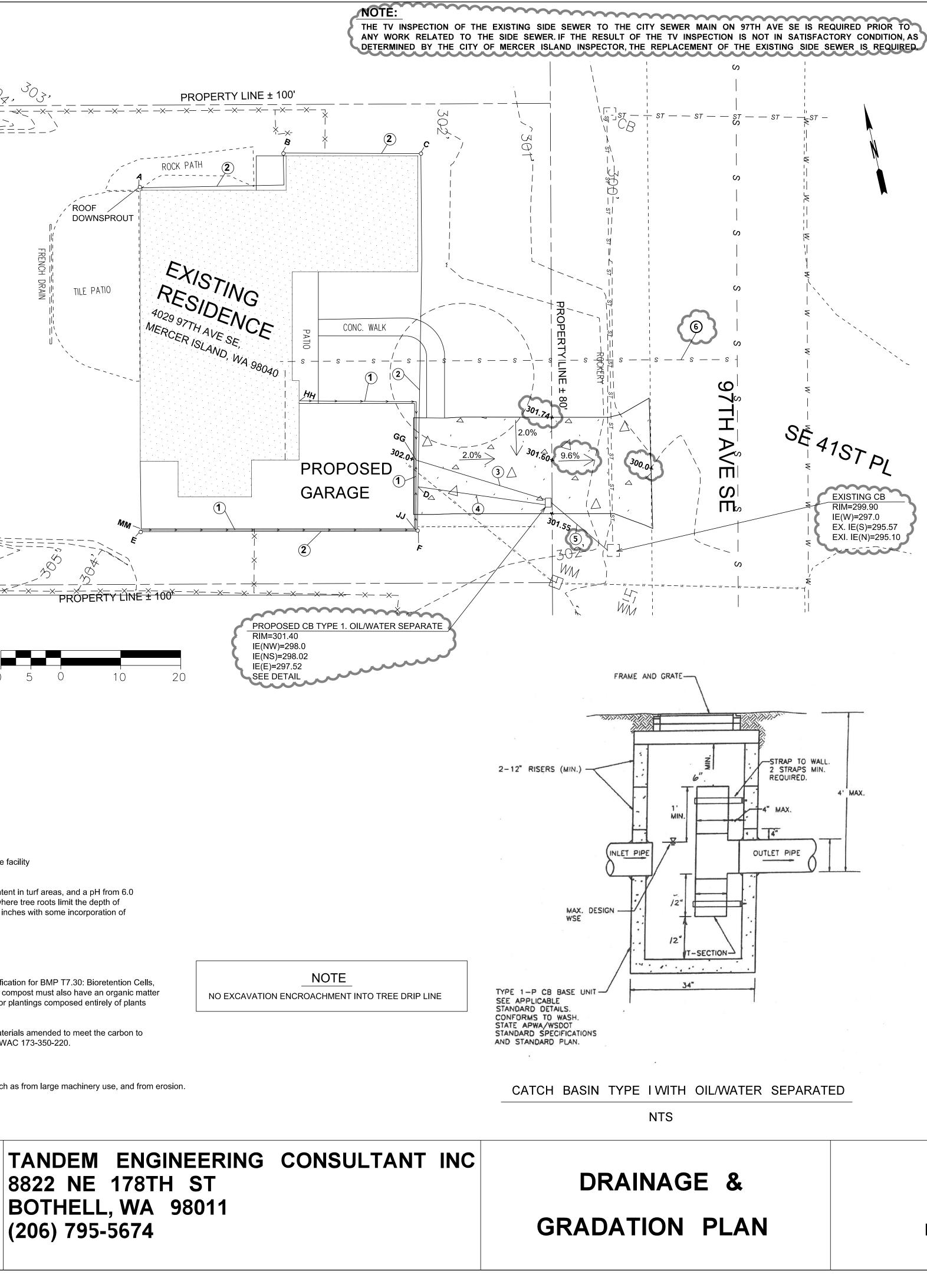
6. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to City Staff as an issue of non-compliance.

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LEGEND			
EXISTING EDGE OF PAVEMENT			, ROOF , DOWNSPROUT
EXISTING STORM LINE - ST - ST -		× !' 	FRENCH
EXISTING LOT LINE		CONC.	DR II' TILE PATIO
TREE DRIP LINE	PERTY LINE	C. BLOCK WALL	
EXISTING WATER MAIN	+ - 0		
EXISTING SEWER MAIN - s s s s s -	-	* 11 + 11 + 11	
FOOTING DRAIN	→	· · · · · · · · · · · · · · · · · · ·	
STORM DRAIN NOTES			
 4" FOOTING DRAIN MIN 1% GRADE (ASTM 4" ROOF DRAIN MIN 2% GRADE (ASTM D-3 			
 3 4" STORM DRAIN, PVC, L=23.0', S=2.0%, (ASTM 4" STORM DRAIN, L=22.0', S=2.0% ((ASTM D 5 6" PVC STORM DRAIN, L=13.0', S=4% (ASTM 6 4" EXISTING SIDE SEWER 	-3034 PVC)		
Post Construction Soil Que All areas subject to clearing and grading that have not been covered by i or engineered as structure fill or slope shall, at project completion, demo 1. A topsoil layer with a minimum organic matter content of 10% dry weig to 8.0 or matching the pH of the undisturbed soil. The topsoil layer shall b	mpervious surface, incorporated onstrate the following: ght in planting beds, and 5% orga	anic matter co	ntent in turf areas, and a pH from 6.0
incorporation of amendments needed to meet the criteria. Subsoils below the upper material to avoid stratified layers, where feasible.			
 Mulch planting beds with 2 inches of organic material Use compost and other materials that meet these organic content required 	uirements:		
a. The organic content for "pre-approved" amendment rates can be met Swales, and Planter Boxes (p.959), with the exception- that the compos content of 40% to 65%, and a carbon to nitrogen ratio below 25:1.The ca native to the Puget Sound Lowlands region.	t may have up to 35% biosolids o	or manure. The	e compost must also have an organic matte
b. Calculated amendment rates may be met through use of composted n nitrogen ratio requirements, and not exceeding the contaminant limits ide Maintenance	e ()	•	
 Establish soil quality and depth toward the end of construction and Plant vegetation and mulch the amended soil area after installation Leave plant debris or its equivalent on the soil surface to replenish Reduce and adjust, where possible, the use of irrigation, fertilizers, pesticides, rather than continuing to implement formerly established 	organic matter. herbicides and	ompaction, su	ich as from large machinery use, and from
FIELD BOOK:	MIN WILL		TANDEM ENC 8822 NE 1787 BOTHELL, WA

DESIGNED

CHECKED:

S.W



ROOF DRAIN				
ELE.POINT	INVERT	LENGTH	S	
Α	300.84	30	2.0%	
В	300.24	25	2.0%	
С	299.74	64	2.0%	
D	298.46	22	2.0%	
СВ	298.02			
E	300.0	46	4.0%	
F	298.2	8	2.0%	
D	298.02			

PERFORATED FOOTING DRAIN

ELE.POINT	INVERT	LENGTH	S	
MM	299.0	46	1%	
JJ	298.5	12	1%	
GG	298.4	23	2%	
CB	298.0			
НН	299.0	30		
GG	298.4		2%	

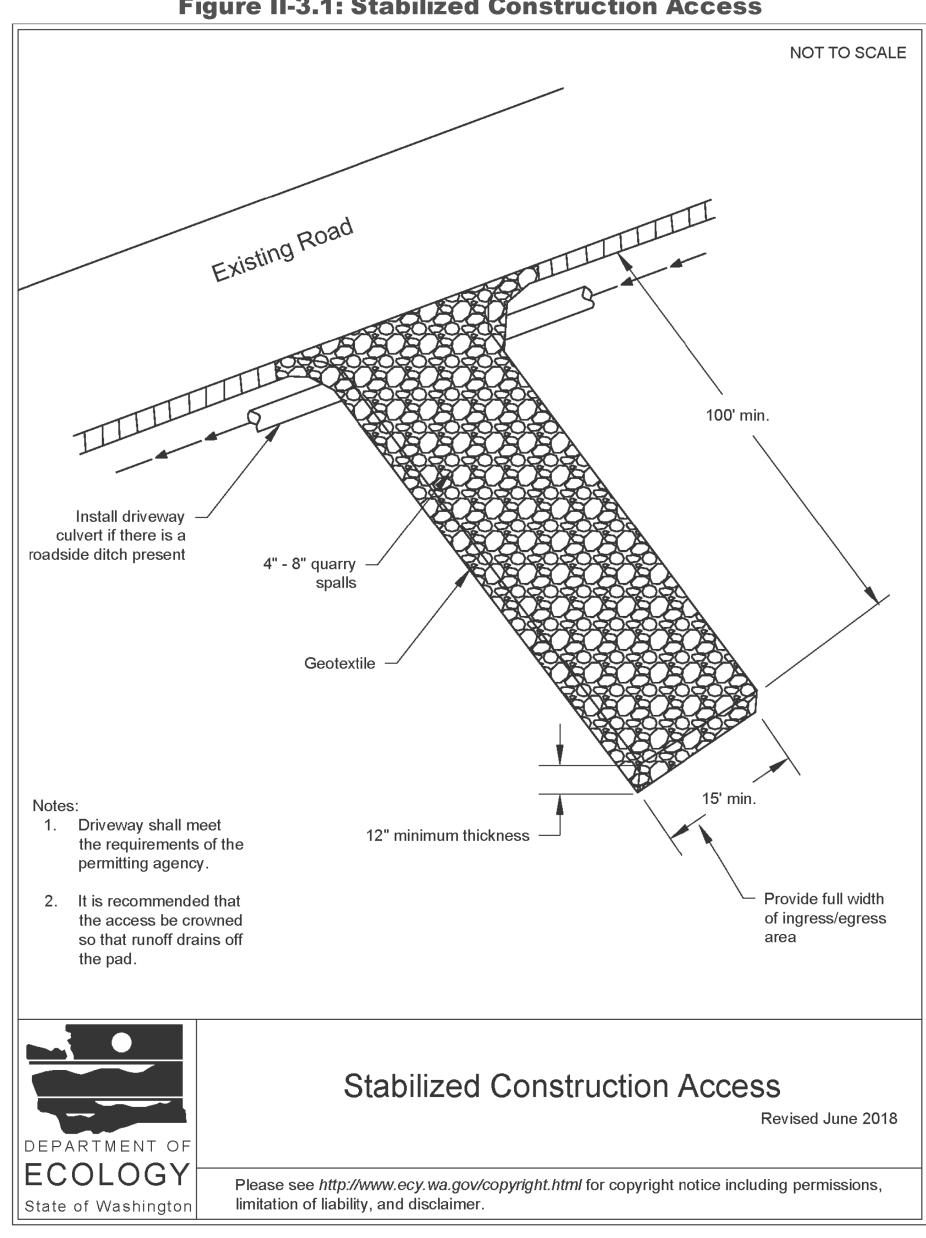


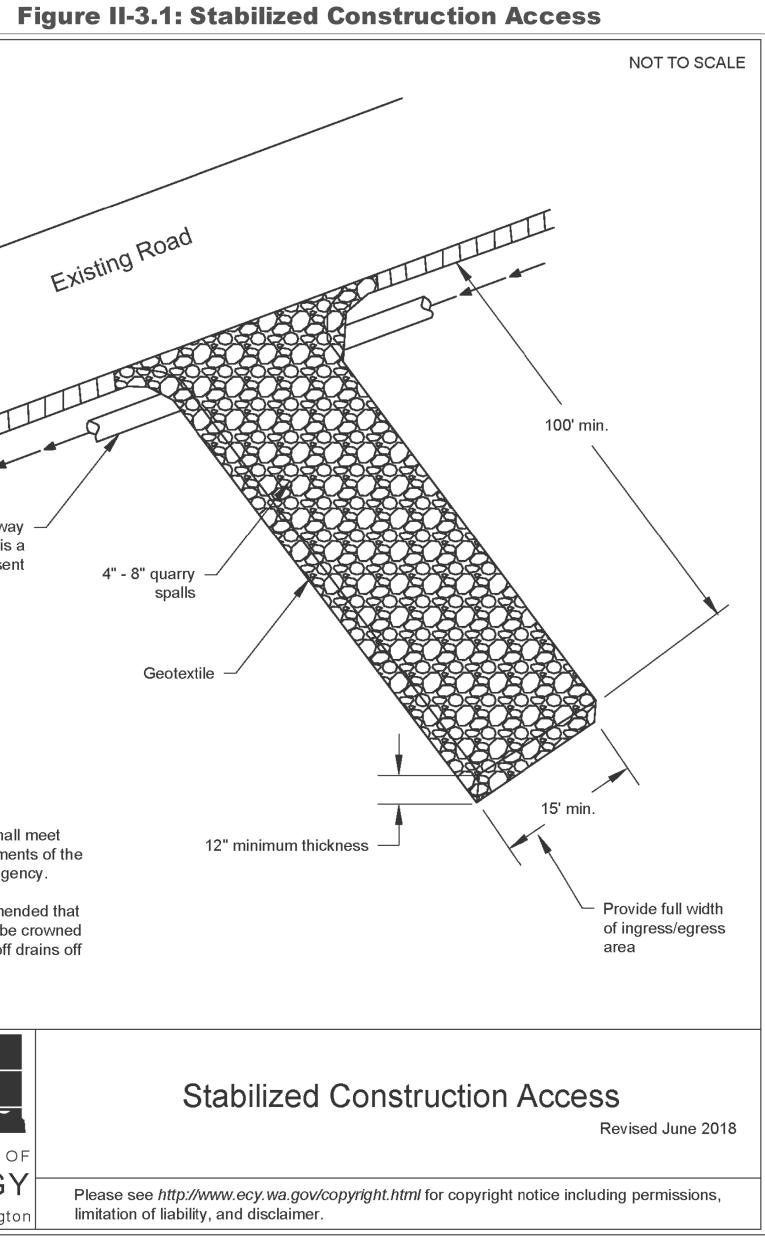
Know what's **below. Call** before you dig.

EXISTING UTILITIES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERY ALL EXISTING UTILITIES TO AVOID CONFLICTS.

ATWAL'S RESIDENCE 4029 97TH AVE SE MERCER ISLAND WA 98040

SHEET 3 OF SHEETS C-3.00





FIELD BOOK:	
SURVEYED:	
SURVEY BASE MAP <u>:</u>	
DESIGN ENTERED:	J.W
DESIGNED	S.W
CHECKED:	S.W

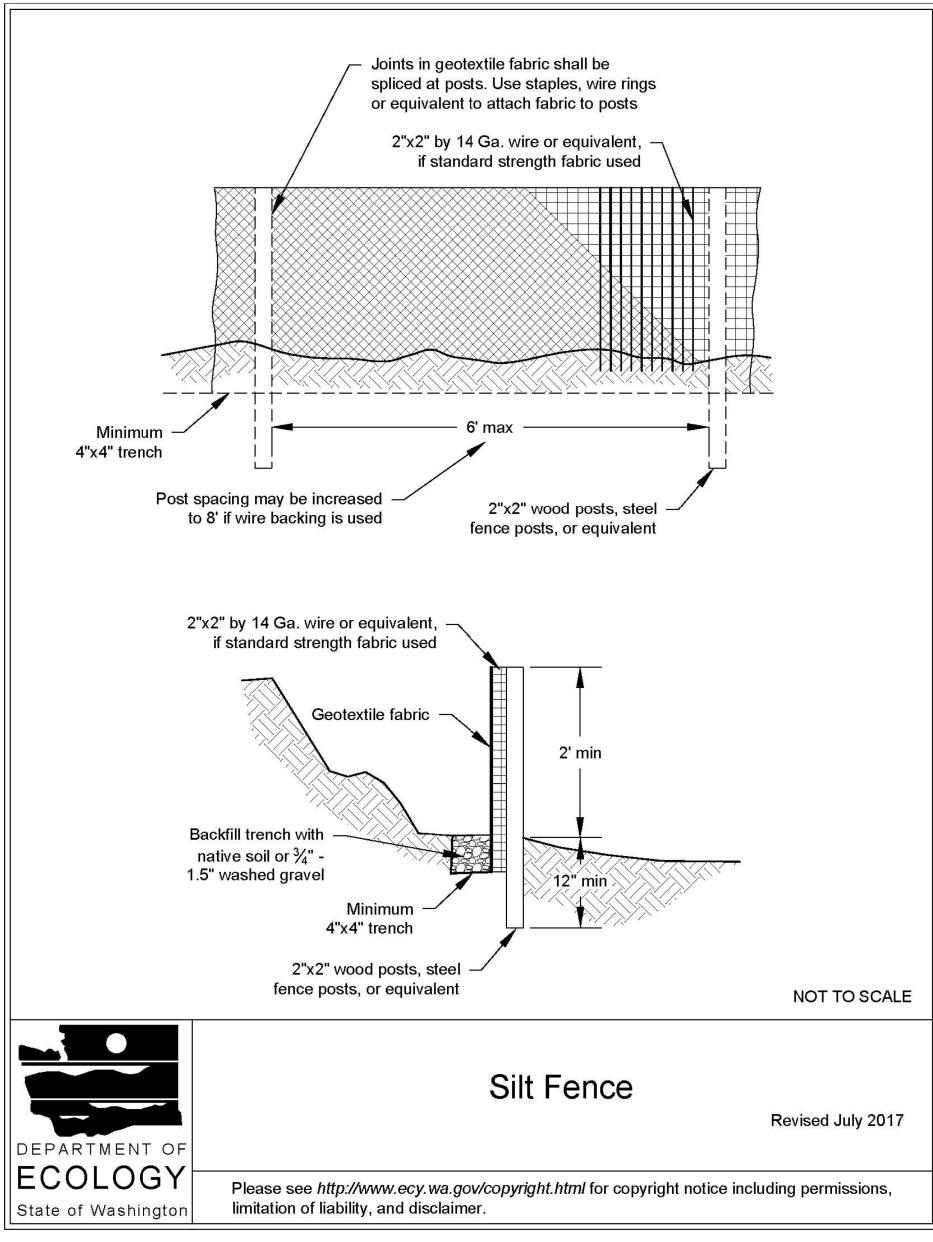
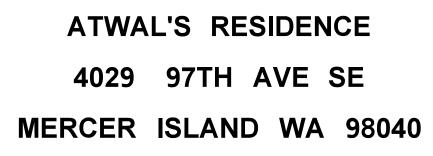


Figure II-3.22: Silt Fence

DETAILS





SHEET 4 OF SHEETS C-4.00

GENERAL NOTES CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK. WORK SHALL COMPLY WITH THE FOLLOWING CODES: 2018 INTERNATIONAL RESIDENTIAL CODE	FOUNDATION LOCATION: PROPERTY CORNERS MUST BE DETERMINED AND INDICATED ON SITE FOR FOUNDATI SURVEY MAY BE REQUIRED. FENCE LOCATIONS WILL AS ESTABLISHING PROPERTY CORNERS.
2018 WASHINGTON ENERGY CODE OTHER CODES APPLICABLE BY JURISDICTION.	<u>OTHER REQUIREMENTS:</u> a. GUARDRAILS: MUST BE AT LEAST 36" HT. W/ L SPACING BETWEEN INTERMEDIATE MEMBERS (4
AIR SEALING: 1. ALL PLUMBING, ELECTRICAL, AND HVAC PENETRATIONS IN FLOOR, WALLS, AND CEILINGS ARE CAULKED AND SEALED.	 EXTERIOR). b. FLOORINGS: BOTTOM MIN. 12" ABOVE EXPOSED SPACE, TOP OF FOUNDATION WALL MIN. 6" ABC c. CONCRETE SLABS ON GRADE: 3-1/2" MIN. THICK
 WHERE PENETRATIONS NEED A FIRESTOP, DISCUSS WITH BUILDING OFFICIAL. ELECTRICAL OUTLET AND LIGHT SWITCH BOXES ON EXTERIOR 	 c. CONCRETE SLABS ON GRADE: 3-1/2" MIN. THICK d. PIER BLOCKS: MIN. 12" X 12" SIZE; RESTING ON MIN. 12" BELOW GRADE.
WALLS MUST BE SEALED AT THE BACK OF THE RECEPTACLE OR SEALED WITH FACEPLATE GASKETS.	e. FOUNDATION WALLS: PROVIDE ONE (1) #4 REBAR AND AT ALL WINDOWS/DOOR OPENINGS. LIMIT
 SEAL RIM JOIST BETWEEN HEATED FLOORS OR USE PRODUCT LIKE "TYVEK" ON EXTERIOR. VAPOR BARRIER SHALL BE EITHER FACE STAPLED BATTS, 4 MIL. 	f. FOUNDATION ANCHOR BOLTS: MIN. 1/2" × 10", 6 MAX. WITH TWO (2) BOLTS PER PIECE OF PLAT ONE (1) BOLT WITH 12" AT END OF EACH PIECE
VISQUEEN OR AN APPROVED VAPOR BARRIER PAINT.	NEW CONSTRUCTION). g. All structural softwood plywood, partic
SEPARATION BETWEEN DWELLING AND GARAGE/CARPORT: a. NO SEPARATION REQUIRED IF ENTIRELY OPEN ON 2 OR MORE SIDES AND NO ENCLOSED USES. (OPEN DECKS ABOVE ARE OKAY. NON-RATED WALLS AND OPENABLE WINDOWS BETWEEN THE	BOARD, AND OSB BOARD ARE STAMPED WITH E 'EXTERIOR'. h. WATER HEATER STORAGE TANK LABELED AS N APPLIANCE ENERGY CONSERVATION ACT. ASHRA
DWELLING AND CARPORT ARE OKAY). b. MINIMUM 1/2" GWB ON GARAGE/CARPORT SIDE OF WALLS REQUIRED FOR ALL CARACES/CARPORTS NOT COVERED BY 14	90A-1980 INSULATION TO R-16 OR R-10 PAD IF UNINSULATED SLAB.
REQUIRED FOR ALL GARAGES/CARPORTS NOT COVERED BY 1A ABOVE. c. 1-HOUR FIRE RATED WALL REQUIRED IF LESS THAN 5 FEET FROM	i. INSULATE HOT AND COLD WATER PIPES TO R-3 AREAS. (INSULATION FOR HOT WATER PIPE, BO OUTSIDE CONDITIONED SPACE, SHALL HAVE A
PROPERTY LINE (NO OPENINGS ALLOWED LESS THAN 3' FROM PROPERTY LINE, 25% MAXIMUM OPENINGS BETWEEN 3' AND 5' TO	R-3 PER WSEC R403.5.3) j. Shower regulator to limit hot water dis
PROPERTY LINE). OVERHANGS MUST BE A MINIMUM 2' FROM PROPERTY LINE, EXCEPT STEEL GUTTER ALLOWED CLOSER AND 5/8" GWB SHEATHING REQUIRED ON UNDERSIDE WHEN 5' OR LESS FROM PROPERTY LINE.	GPM k. WOODSTOVES AND FIREPLACES HAVE TIGHT FI OUTSIDE COMBUSTION AIR DUCTED TO FIREBOX DAMPER, MIN 6 SQ IN FREE VENT AREA. TIGHT
EGRESS WINDOWS: REQUIRED FOR 1 WINDOW/BEDROOM OR SLEEPING	DAMPER, MIN O SQ IN TREE VENT AREA. FIGHT DAMPERS REQ'D. I. ALL GAS AND OIL COMBUSTION APPLIANCES H/
AREA (BELOW 4TH FLOOR) AND 1 WINDOW/BASEMENT. a. MIN. NET CLEAR AREA = 5.7 SQ. FT., (MIN. 3'0" x 4'6" IF DOUBLE	VENT OR FORCED DRAFT VENTING. m. RECESSED LIGHTS ARE I.C. RATED, DOUBLE WA WITHIN SEALED WPGWB BOX-IN.
HUNG OR 4'0" × 3'6" WINDOW IF SLIDER). 5.0 SQ. FT. IF SILL HEIGHT IS WITHIN 44" OF GRADE (ABOVE OR BELOW). b. MIN. NET CLEAR OPENING WIDTH = 20"; MIN. NET CLEAR OPENING	n. CONTRACTOR TO PROVIDE (1) 16"x24" MINIMUM C ACCESS INTO NEW CRAWL SPACE AREA THAT
HEIGHT = 24" c. MAX. SILL HEIGHT = 44"	FROM EITHER THE OUTSIDE OR FROM THE EXIS AREA. OTHERWISE CONTRACTOR IS TO PROVIDE CRAWL SPACE ENTRANCE THROUGH MAIN LEVE
<u>REQUIRED GLAZING FOR HABITABLE ROOMS:</u> a. MIN. GLAZED EXTERIOR OPENING AREA = 8% OF FLOOR AREA.	THAT ACCESSES NEW CRAWL SPACE AREA. o. A CERTIFICATE IS REQUIRED TO BE POSTED W
 b. GLAZED OPENINGS NOT REQUIRED WHERE PERMANENTLY INSTALLED ARTIFICIAL LIGHT IS PROVIDED. c. OK IF OPENINGS ARE BELOW DECK & ROOFED PORCHES w/MIN. 	ELECTRICAL PANEL PER WSEC R401.3 AND INCL FOLLOWING: PREDOMINATE R-VALUES, U-VALUES FENESTRATION, RESULTS FROM DUCT SYSTEM A ENVELOPE AIR LEAKAGE TESTING, AND EFFICI
CEILING HEIGHT OF 7 FT. (LONG SIDE 65% OPEN). <u>MECHANICAL/VENTILATION:</u> REQUIRED FOR HABITABLE ROOMS OF ADDITIONS AND ALTERATIONS MORE THAN 500 SQ. FT. OR THAT INCLUDE A KITCHEN, BATHROOM AND OTHER AREAS WHERE COOKING ODOR OR EXCESS WATER VAPOR WILL BE PRODUCED.	HEATING/COOLING/WATER HEATING EQUIPMENT. P. A MIN OF 90 PERCENT OF PERMANENTLY INST INTERIOR AND EXTERIOR LIGHTING FIXTURES W HIGH-EFFICIENCY LAMPS PER WSEC R404.1
a. MIN. 50 CFM FOR BATHROOM AND LAUNDRY; MIN. 100 CFM FOR KITCHEN.	
 b. MIN. AIR INTAKE OPENINGS = 4 SQ. IN. PER ROOM. c. WHOLE HOUSE FAN MUST OPERATE AS SPECIFIED IN IRC M1505.4 	INSULATION AND FENESTRATION REQUIREME
<u>SMOKE ALARMS:</u> REQUIRED INSIDE AND OUTSIDE OF SLEEPING AREAS AND ON ALL FLOORS. DIRECT WIRING IS REQUIRED FOR SMOKE DETECTORS, UNLESS REMOVAL OF INTERIOR WALL OR CEILING FINISHES	CLIMATE ZONE FENESTRATION U-FACTOR (b)
IS NECESSARY TO INSTALL THE WIRING.	SKYLIGHT U-FACTOR (b) CEILING R-VALUE (e)
<u>CARBON MONOXIDE ALARMS:</u> REQUIRED OUTSIDE SLEEPING AREAS AND ON ALL FLOORS, UNLESS WORK ONLY INVOLVES EXTERIOR SURFACES OF THE BUILDING.	WOOD FRAME WALL R-VALUE (g,h)
STAIR REQUIREMENTS: (APPLIES TO ALL R-3 STAIRS AND R-2 PRIVATE	FLOOR R-VALUE BELOW-GRADE WALL R-VALUE (c,h)
STAIRWAYS): a. MIN. WIDTH = 36" b. MAX. HEIGHT/RISE = 7-3/4"; MIN. TREAD RUN = 10"	SLAB R-VALUE & DEPTH (d,f)
c. MIN. HEADROOM = 6'8" d. HANDRAIL 34"-38" ABOVE TREAD NOSING (RETURN ENDS)	FOR SI: 1 FOOT = 304.8 MM, CI = CONTINUOUS INSULA INTERMEDIATE FRAMING.
e. HANDRAIL GRASP DIMENSION: MIN. 1-1/4", MAX. 2" f. WINDING STAIRS: 1. MIN. TREAD RUN AT NARROWEST POINT = 6"	a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC WHEN INSULATION IS INSTALLED IN A CAVITY W THE LABEL OR DESIGN THICKNESS OF THE INSUL
2. MIN. TREAD RUN 12" FROM NAORROWEST POINT = 10" g. SPIRAL STAIRS:	COMPRESSED R-VALUE OF THE INSULATION FROM A101.4 SHALL NOT BE LESS THAN THE R-VALUE S
1. MIN. CLEAR WALKING AREA WIDTH = 26" 2. MIN. TREAD RUN 12" FROM NARROWEST POINT = 7-1/2" / MAX. RISER HEIGHT = 9-1/2" 3. MIN. HEADROOM = 6'6"	TABLE. b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES c. "10/15/21 +5TB" MEANS R-10 CONTINUOUS INSULATI EXTERIOR OF THE WALL, OR R-15 CONTINUOUS IN
CEILING HEIGHT IN ADDITIONS AND ALTERATIONS: a. MIN. 7'0": FOR NEW CONSTRUCTION OR ADDITIONS	INTERIOR OF THE WALL, OR R-21 CAVITY INSULAT THERMAL BREAK BETWEEN THE SLAB AND THE B AT THE INTERIOR OF THE BASEMENT WALL. "10/1
 b. ROOMS WITH SLOPED CEILINGS REQUIRE MINIMUM CEILING HEIGHT IN 1/2 OF THE AREA. (PORTIONS OF THE ROOM WITH CEILING HEIGHT LESS THAN 5 FT. DO NOT COUNT IN TOTAL AREA). 	DE DEDVITTED TO DE VIET VIITU D'AL OLVITV IV
INSULATION: 1. FACED BATTS ARE LAPPED AND FACE STAPLED AT FRAMING	WALL. d. R-10 CONTINUOUS INSULATION IS REQUIRED UNDER
MEMBERS. 2. ALL EXTERIOR WALL CAVITIES ARE FILLED WITH UNCOMPRESSED	GRADE FLOORS. SEE R402.2.9.1. e. FOR SINGLE RAFTER- OR JOIST-VAULTED CEILING MAY BE REDUCED TO R-38 IF THE FULL INSULAT
INSULATION, INCLUDING ALL CAVITIES ISOLATED DURING FRAMING, WIRING, AND PLUMBING.3. ALL RECESSED FIXTURES IN EXTERIOR WALLS HAVE RIGID BOARD	EXTENDS OVER THE TOP PLATE OF THE EXTERION f. R-7.5 CONTINUOUS INSULATION INSTALLED OVER A
INSULATION BEHIND THEM. 4. UNDERFLOOR INSULATION IS SUPPORTED BY LATH, TWINE, OR	IS DEEMED TO BE EQUIVALENT TO THE REQUIRE INSULATION WHEN APPLIED TO EXISTING SLABS SECTION R503.1.1. IF FOAM PLASTIC IS USED, IT
OTHER NON-COMPRESSING MEANS. 5. ATTIC ACCESS IS BAFFLED, WEATHER-STRIPPED AND INSULATED.	REQUIREMENTS FOR THERMAL BARRIERS PROTECT PLASTICS.
	g. FOR LOG STRUCTURES DEVELOPED IN COMPLIANC ICC 400, LOG WALLS SHALL MEET THE REQUIRENT

MUST BE ACCURATELY OUNDATION INSPECTION. A IS WILL NOT BE ACCEPTED

HT. W/ LESS THAN 4" IBERS (42" MIN. HT. FOR R-2

XPOSED GROUND IN CRAWL 6" ABOVE GRADE. THICKNESSES.

TING ON CONCRETE PAD 4 REBAR TOP AND BOTTOM

LIMIT 4' MAX. BACKFILL. 10", 6 FT. ON CENTER OF PLATE AND AT LEAST CH PIECE (REQUIRED FOR

, PARTICLE BOARD, WAFER WITH EXPOSURE '1' OR

ED AS MEETING 1987 NAT'L ASHRAE STANDARD PAD IF LOCATED OVER

TO R-3 IN UNHEATED PIPE, BOTH WITHIN AND HAVE A MIN R-VALUE OF

TER DISCHARGE TO 2.5

FIGHT FITTING DOORS, FIREBOX WITH ACCESSIBLE TIGHT FITTING FLUE

ANCES HAVE A DIRECT

JBLE WALL CAN LIGHTS OR

NIMUM CRAWL SPACE THAT IS ACCESSIBLE THE EXISTING CRAWLSPACE PROVIDE (1) 18"x24" MINIMUM

IN LEVEL FLOOR FRAMING OSTED WITHIN 3' OF THE AND INCLUDE THE

-VALUES OF YSTEM AND BUILDING EFFICIENCIES OF

LY INSTALLED LAMPS IN TURES MUST BE

REMENTS R402.1.1 5 AND MARINE 4 0.30 0.50 49 21 INT 30 10/15/21 INT+5TB 10, 2FT

INSULATION, INT =

SHGC ARE MAXIMUMS. AVITY WHICH IS LESS THAN HE INSULATION, THE ON FROM APPENDIX TABLE -VALUE SPECIFIED IN THE

EXCLUDES SKYLIGHTS. INSULATION ON THE NUOUS INSULATION ON THE INSULATION PLUS A ND THE BASEMENT WALL ALL. "10/15/21 +5TB" SHALL

AVITY INSULATION ON THE R-5 CONTINUOUS IOR OF THE WALL. "5TB" LOOR SLAB AND BASEMENT

ED UNDER HEATED SLAB ON

CEILINGS, THE INSULATION INSULATION DEPTH EXTERIOR WALL.

OVER AN EXISTING SLAB REQUIRED PERIMETER SLAB SLABS COMPLYING WITH SED, IT SHALL MEET THE PROTECTING FOAM

MPLIANCE WITH STANDARD REQUIREMENTS FOR

INT. (INTERMEDIATE FRAMING) DENOTES FRAMING AND INSULATION AS DESCRIBED IN SECTION A103.2.2 INCLUDING STANDARD FRAMING 16 INCHES ON CENTER, 78 PERCENT OF THE WALL CAVITY INSULATED AND HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

MECHANICAL/VENTILATION

LOCAL EXHAUST REQUIREMEN	NTS M1505.4.4(1)
AREAS TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 CFM INTERMITTENT OR 30 CFM CONTINUOUS
BATHROOMS/TOILET ROOMS	50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

WHOLE-HOUSE	MECHAN	ICAL VEN M1505.4.3		AIRFLOW	RATE
		NUMBER OF BEDROOMS			
DWELLING UNIT	0-1	2	3	4	5 OR MORE
FLOOR AREA (SQUARE FEET)		AIRFLOW IN CFM			
<500	30	30	35	45	50
501-1000	30	35	40	50	55
1001-1500	30	40	45	55	60
1501-2000	35	45	50	60	65
2001-2500	40	50	55	65	70
2501-3000	45	55	60	70	75
3001-3500	50	60	65	75	80
3501-4000	55	65	70	80	85
4001-4500	60	70	75	85	90
4501-5000	65	75	80	90	95

INTERMITTENT	WHOLE-HOU RATE FACT			ILATION
RUN-TIME % IN EACH 4-HOUR SEGMENT	50%	66%	75%	100%
FACTOR	2	1.5	1.3	1.0

BATHROOMS, TOILET ROOMS, AND KITCHENS SHALL INCLUDE A LOCAL EXHAUST SYSTEM. SUCH LOCAL EXHAUST SYSTEMS SHALL HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIRFLOW RATE IN ACCORDANCE WITH TABLE M1505.4.4(1). FANS REQUIRED BY THIS SECTION SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE OR AUTOMATIC OCCUPANCY SENSOR, HUMIDITY SENSOR OR POLLUTANT SENSOR CONTROLS. AN "ON/OFF" SWITCH SHALL MEET THIS REQUIREMENT FOR MANUAL CONTROLS. MANUAL FAN CONTROLS SHALL BE READILY ACCESSIBLE IN THE ROOM SERVED BY THE FAN.

1. EXHAUST FANS SHALL MEET THE FOLLOWING CRITERIA: • EXHAUST FANS SHALL BE TESTED AND RATED IN ACCORDANCE WITH THE AIRFLOW AND SOUND RATING PROCEDURES OF THE HOME VENTILATING INSTITUTE (HVI 915, HVI LOUDNESS TESTING AND RATING PROCEDURE; HVI 916, HVI AIRFLOW TEST PROCEDURE; AND HVI 920, HVI PRODUCT PERFORMANCE CERTIFICATION PROCEDURE). EXCEPTION: WHERE A RANGE HOOD OR DOWN DRAFT EXHAUST FAN IS USED FOR LOCAL EXHAUST FOR A KITCHEN, THE DEVICE IS NOT

REQUIRED TO BE RATED PER THESE STANDARDS. • FAN AIRFLOW RATING AND DUCT SYSTEM SHALL BE DESIGNED AND INSTALLED TO DELIVER AT LEAST THE EXHAUST AIRFLOW REQUIRED BY TABLE M1505.4.4(1). THE AIRFLOWS REQUIRED REFER TO THE DELIVERED AIRFLOW OF THE SYSTEM AS INSTALLED AND TESTED USING A FLOW HOOD, FLOW GRID, OR OTHER AIRFLOW MEASUREMENT DEVICE. LOCAL EXHAUST SYSTEMS SHALL BE TESTED, BALANCED AND VERIFIED TO PROVIDE A FLOW RATE NOT LESS THAN THE MINIMUM REQUIRED BY THIS SECTION.

• DESIGN AND INSTALLATION OF THE SYSTEM OR EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

• FAN AIRFLOW RATING AND DUCT SYSTEM SHALL BE DESIGNED AND INSTALLED TO DELIVER AT LEAST THE EXHAUST AIRFLOW REQUIRED BY TABLE M1505.4.4(1).

- 2. WHOLE-HOUSE VENTILATION USING EXHAUST FANS MUST COMPLY WITH: IRC M1505.4: EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
- WHOLE-HOUSE VENTILATION FANS SHALL BE RATED FOR SOUND AT NO LESS THAN THE MINIMUM AIRFLOW RATE REQUIRED BY SECTION M1505.4.3.1. VENTILATION FANS SHALL BE RATED FOR SOUND AT A MAXIMUM OF 1.0 SONE. THIS SOUND RATING SHALL BE AT A MINIMUM OF 0.1 IN. W.C. (25 PA) STATIC PRESSURE IN ACCORDANCE WITH HVI PROCEDURES SPECIFIED IN SECTIONS M1505.4.1.2 AND M1505.4.1.3. 3. DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. DUCT TIGHTNESS MUST

BE VERIFIED BY EITHER A POST-CONSRUCTION TEST OR ROUGH - IN TEST PER WSEC R403.3.3. TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4 CFM PER 100 SQ-FT OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1" W.G. (25 PA) ACROSS THE ENTIRE SYSTEM.

4. PER IRC M1503.6, WHERE ONE OR MORE GAS, LIQUID OR SOLID FUEL-BURNING APPLIANCE THAT IS NEITHER DIRECT-VENT NOR USES A MECHANICAL DRAFT VENTING SYSTEM IS LOCATED WITHIN A DWELLING UNIT'S AIR BARRIER, EACH EXHAUST SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S) SHALL BE MECHANICALLY OR PASSIVELY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.

5. WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQ. INCHES SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER SMC 504.6.

Vertical Fenestration (Windows and doors)

	Component		
\frown	Description	Ref	U-facto
$\left(\right)$	W1 - C - SAFETY - EGRESS	WSEC	.0.
)	W2 - XO - EGRESS	WSEC)))))
	W3 - XO	WSEC	0.
	W4 - XO	WSEC	0.
	W5 - XO - EGRESS	WSEC	0.
	W6-X0	WSEC	, , ,
$\left(\right)$	W7 - XO - SAFETY	WSEC	0.
	W8-X0	WSEC	
	W9-X0	ŴSEČ	0.
\geq	W10 - SH	WSEC	0.
	W11 - F	WSEC	0.
		$\overline{\ }$	

W12 - C	WSEC	N/A
D1 - GARAGE	WSEC	N/A
D2 - SOLID	WSEC	N/A

SAFETY GLAZING FOR EXISTING OPENING REPLACEMENT

- 1. <u>GLAZING IN DOORS:</u> SAFETY GLAZING IS REQUIRED IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS. SAFETY GLAZING IS NOT REQUIRED IN A DOOR IF THE GLAZED OPENINGS DO NOT ALLOW THEPASSAGE OF A 3 INCH SPHERE, OR THE GLAZING IN THE DOOR IS DECORATIVE.
- 2. GLAZING ADJACENT TO DOORS: GLAZING ADJACENT TO DOORS IS REQUIRED IN THE FOLLOWING LOCATIONS IF THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE: WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IF GLAZING IS IN THE SAME PLANE AS THE DOOR, OR IF GLAZING IS IN A WALL PERPENDICULAR TO THE DOOR WITHIN 24 INCHES ON THE HINGE SIDE OF AN INSWING DOOR. SAFETY GLAZING IS NOT REQUIRED IF THERE IS AN INTERVENING WALL OR PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
- 3. <u>GLAZING IN WINDOWS:</u> SAFETY GLAZING IN WINDOWS IS REQUIRED IF THE INDIVIDUAL PANEL MEETS ALL OF THE FOLLOWING REQUIREMENTS: • EXPOSED AREA OF THE INDIVIDUAL PANEL IS GREATER THAN 9 SQUARE FEET.

• THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES FROM THE FLOOR • THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE

THE FLOOR. • THERE IS A WALKING SURFACE WITHIN 36 INCHES, MEASURED

HORIZONTALLY, FROM THE GLAZING. EXCEPTIONS

* DECORATIVE GLAZING

* WHERE A HORIZONTAL RAIL CAPABLE OF RESISTING 50 PLF OF FORCE WITHOUT MAKING CONTACT WITH THE GLASS IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34-38 INCHES ABOVE WALKING SURFACE.

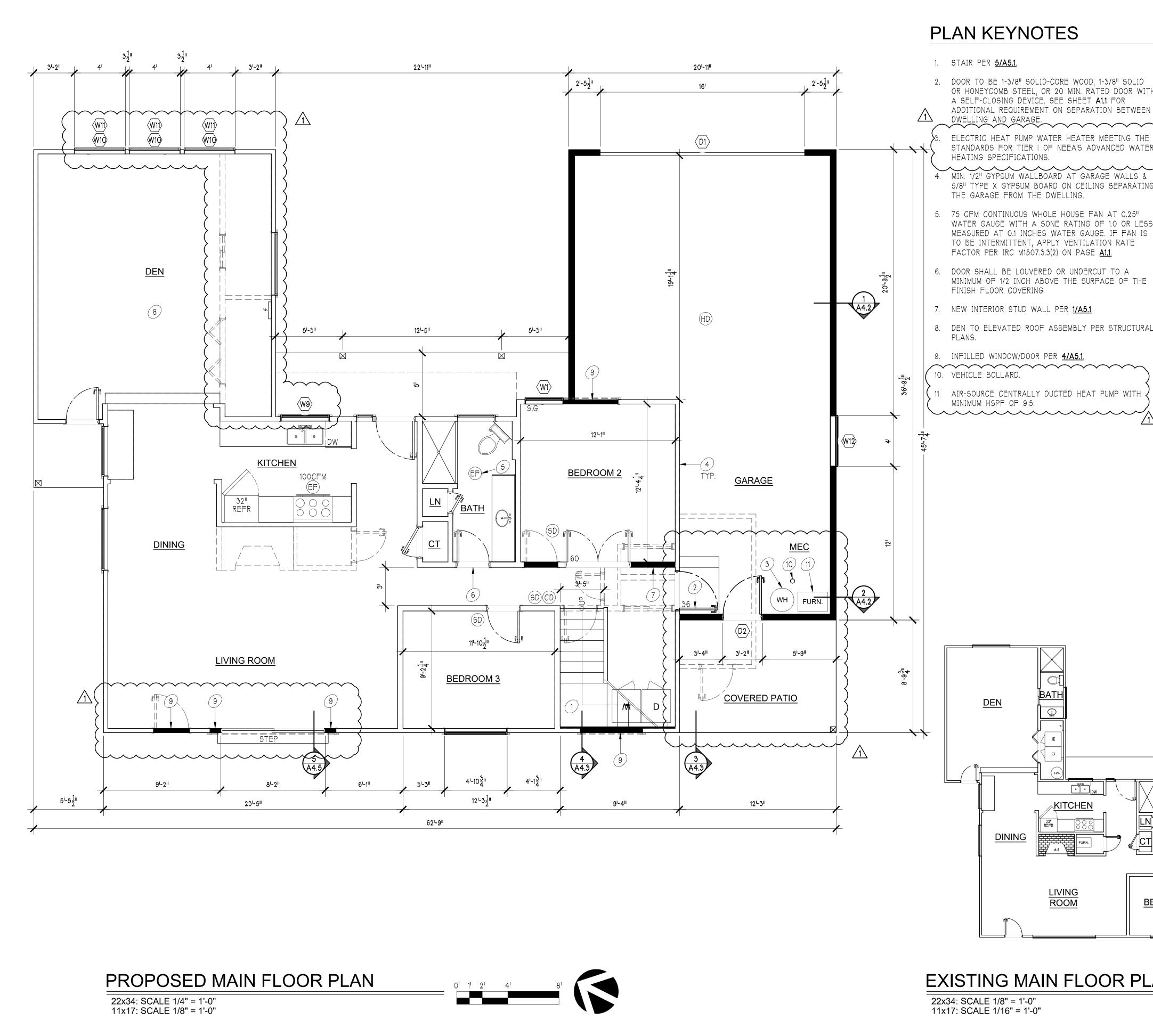
4. <u>GLAZING IN RAILINGS AND GUARDS:</u> ALL GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND

NONSTRUCTURAL IN-FILL PANELS, IS REQUIRED TO BE SAFETY GLAZING. 5. <u>GLAZING AND WET SURFACE:</u> GLAZING IN WALLS, ENCLOSURES, OR FENCES AROUND SHOWERS, BATHTUBS, POOLS, HOT TUBS, SPAS, SAUNAS, AND STEAM ROOMS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES FROM THE STANDING OR WALKING SURFACE IS REQUIRED TO BE SAFETY GLAZING. SAFETY GLAZING IS NOT REQUIRED WHERE THE GLAZINGIS MORE THAN 60 INCHES, HORIZONTALLY, FROM THE EDGE OF THE WATER.

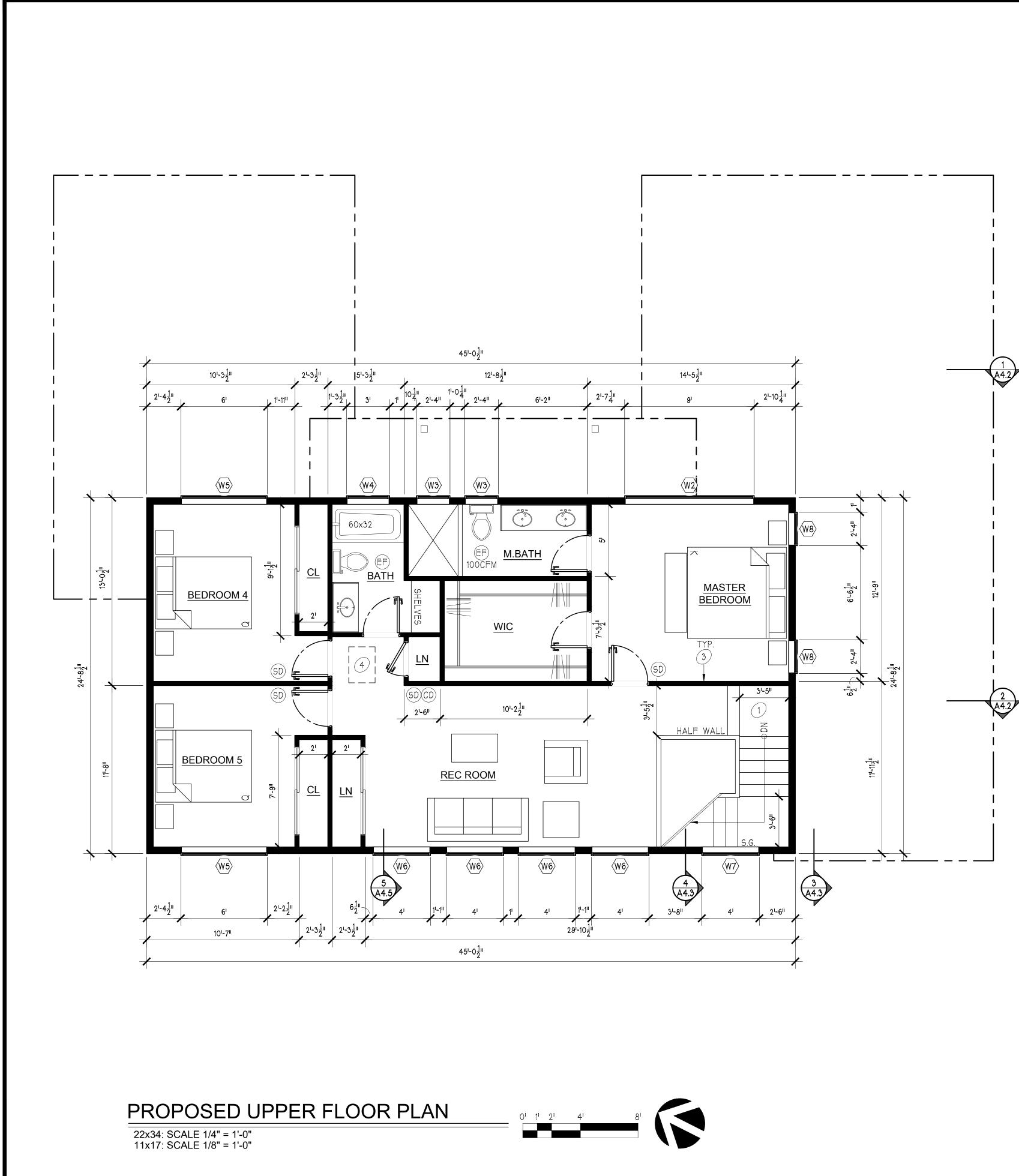
REFER TO IRC SECTION 312.2 FOR ADDITIONAL WINDOW FALL PROTECTION REQUIREMENTS.

THIS PROJECT REQUIRES THE INSTALLATION OF A NFPA 13D FIRE SPRINKLER SYSTEM PER COMI AND NFPA 13D STANDARDS





TH GD CD	NEW STUD WALL. EXISTING WALL TO REMAIN INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION SMOKE DETECTOR CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.	REV DATE DESCRIPTION 0 04.04.23 PERMIT SUBMITTAL 1 09.10.23 CORRECTION RESPONSE 1 1 09.10.23 CORRECTION RESPONSE 1
HD NG EF SS * S.G.	HEAT DETECTOR. TO BE CONNECTED TO ALARM SYSTEM OR SMOKE DETECTOR WITHIN DWELLING. EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O. SEE DOOR AND WINDOW SCHEDULE ON SHEET <u>A1.1</u> FOR DETAILED INFO. SEE <u>2/A5.1</u> FOR FRAMING INFO & <u>3/A5.1</u> FOR INSULATION INFO. WINDOW TO BE SAFETY GLAZING	YEN DESIGN INC.
A. PLANS OFFIC COMME B. CONTR EXISTI ANY W BE VE INSPEC EXISTI AFTER	ACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND NG SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD RIFIED BY A STRUCTURAL ENGINEER OR BUILDING CTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL ING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS A CEILING WALL COVERINGS ARE REMOVED.	206.432.1111 WWW.YENDES.COM APPROVAL STAMP
D. <u>CARBO</u> LEVEL SLEEP E. <u>SMOKE</u> THE D WIRING F. VERIF DOOR G. ALL D	HEET A1.1 FOR COMMON CODE REQUIREMENTS. ON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL S OF THE DWELLING AND PLACED IN PROXIMITY TO ING AREAS. CO DETECTORS TO BE INTERCONNECTED. E DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF WELLING AND WITHIN EACH SLEEPING AREA. DIRECT G REQUIRED. SMOKE DETECTORS TO BE INTERCONNECTED. Y WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & MANUFACTURER. IMENSIONS TO STUD WALL.	ENGINEER STAMP
L. CONST I. CONTR REQUIN BE RE FACIL J. DOORS OR ON K. EXHAL L. CONTR 3' FRC	ACTOR TO VEY ALL DIMENSIONS ON SITE PRIOR TO RUCTION. ACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY QUIRED TO REQUEST LEED REPORTS FROM RECEIVING ITIES. WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL CENTER, AS APPROPRIATE. IST FANS IN UPPER LEVEL TO BE VENTED THROUGH ROOF. ACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN OM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO UILDING, AND 10' FROM MECHANICAL AIR INTAKES.	A RESIDENTIAL REMODEL & ADDITION 4029 MERCER ISLAND AVNEET ATWAL 4029 97TH AVE SE MERCER ISLAND, WA
	ASTER DROOM CL CL CL CL CL CL CL CL CL CL CL CL CL	MAIN FLOOR PLANS
_AN		JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET A2.1



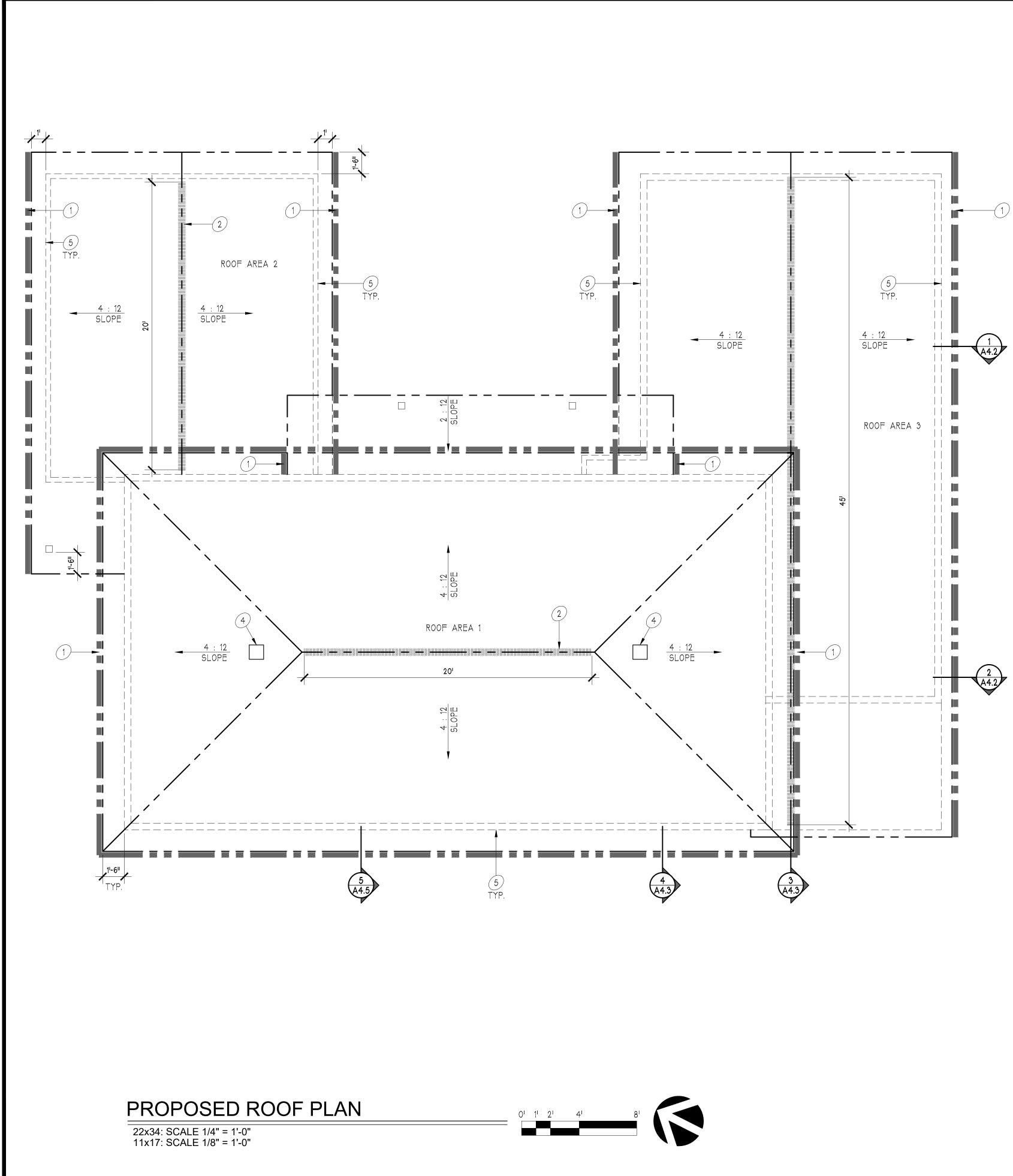
PLAN KEYNOTES

1. STAIR PER <u>5/A5.1.</u> 1

3. NEW INTERIOR STUD WALL PER <u>1/A5.1</u>

4. ATTIC ACCESS DOOR TO BE A MIN OF 22"X30".

LE	GEND	
	ROOF OUTLINE BELOW	ON BMITTA ON RES
-	THIS SHEET FOR BALANCE OF INFORMATION	DESCRIPTION PERMIT SUBMITTAL CORRECTION RESPONSE
	D SMOKE DETECTOR	
(D CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.	V DATE 04.04.23 09.10.23
(F	D HEAT DETECTOR. TO BE CONNECTED TO ALARM SYSTEM OR SMOKE DETECTOR WITHIN DWELLING.	7 0 4 REV
E	F EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O.	
	SEE DOOR AND WINDOW SCHEDULE ON SHEET <u>A1.1</u> FOR detailed info. See $2/A5.1$ for framing info & $3/A5.1$ for insulation info.	
S	G. WINDOW TO BE SAFETY GLAZING	YEN DESIGN INC.
GI	ENERAL NOTES	206.432.1111
A.	PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.	WWW.YENDES.COM
В.	CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL EXISTING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS AFTER CEILING WALL COVERINGS ARE REMOVED.	
C.	SEE SHEET A1.1 FOR COMMON CODE REQUIREMENTS.	
D.	CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS. CO DETECTORS TO BE INTERCONNECTED.	ENGINEER STAMP
E.	<u>SMOKE DETECTORS</u> SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED. SMOKE DETECTORS TO BE INTERCONNECTED.	
F.	VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.	
G.	ALL DIMENSIONS TO STUD WALL.	
H.	CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.	AND
I.	CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.	
J.	DOORS WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL OR ON CENTER, AS APPROPRIATE.	
K.	EXHAUST FANS IN UPPER LEVEL TO BE VENTED THROUGH ROOF.	REMODE RCE SE D, WA
L.	CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.	A RESIDENTIAL REMODEL & 4029 MERCER 4029 97TH AVE SE MERCER ISLAND, WA
		UPPER FLOOR PLAN
		JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET A22.2



PLAN KEYNOTES

- 1. DOWN SPOUT LOCATION. SEE DWC PLAN FOR MORE INFO.
- 2. (20 LINEAR FT) RIDGE EXHAUST VENT LOCATION. INSTALLATION PER MANUFACTURER'S SPECIFICATION. (6 SQ-IN NFVA PER LINEAR FOOT = 120 TOTAL)
- 3. (45 LINEAR FT) RIDGE EXHAUST VENT LOCATION. INSTALLATION PER MANUFACTURER'S SPECIFICATION. (6 SQ-IN NFVA PER LINEAR FOOT = 270 TOTAL)
- 4. REQUIRED PV-14-C1-BL ROOF VENT WITH A MIN NET CLEAR OPENING OF 144 SQ-IN
- 5. PROVIDE VENTED BLOCKS AT OVERHANGS IN EACH BAY. (3) 2" HOLES IN EACH BLOCK.

ROOF VENT CALC.

ROOF AREA 1:

111<u>3 SQ-FT</u> = 3.71 SQ-FT OR 535 SQ-IN OF NET CLEAR AREA 300 SQ-FT = 3.71 VENTILATION.

ROOF AREA 2:

<u>399 sq-ft</u> = 1.33 sq-ft or 192 sq-in of net clear area and sq-ft attic ventilation.

ROOF AREA 3:

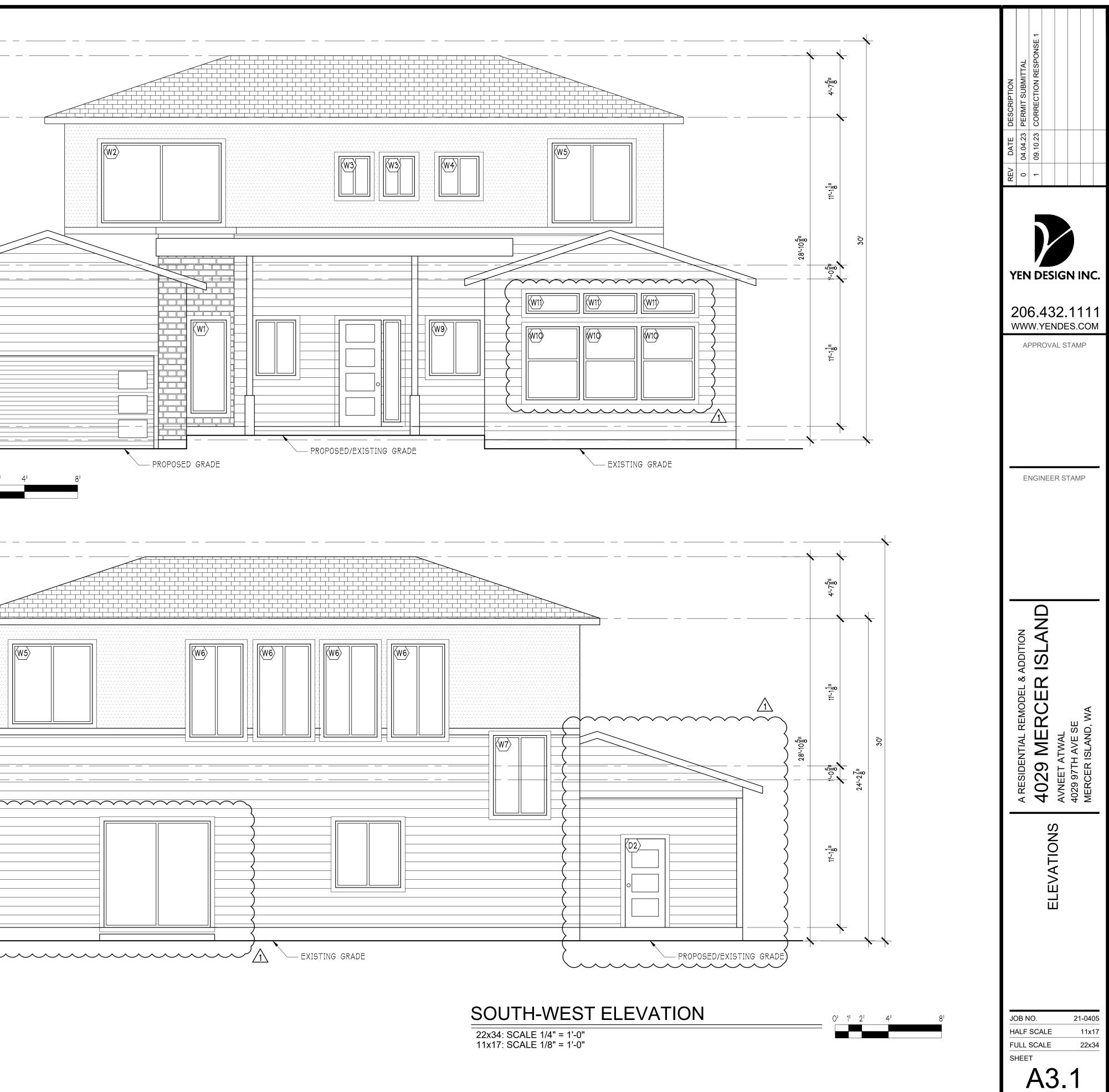
733 sq-ft = 2.44 sq-ft or 352 sq-in of net clear area and sq-ft = 2.44 sq-ft or 352 sq-in of net clear area attic attic ventilation.

VENTILATION OF ALL BAY SPACES OVER HEATED AREAS TO BE DISTRIBUTED AS SUCH:

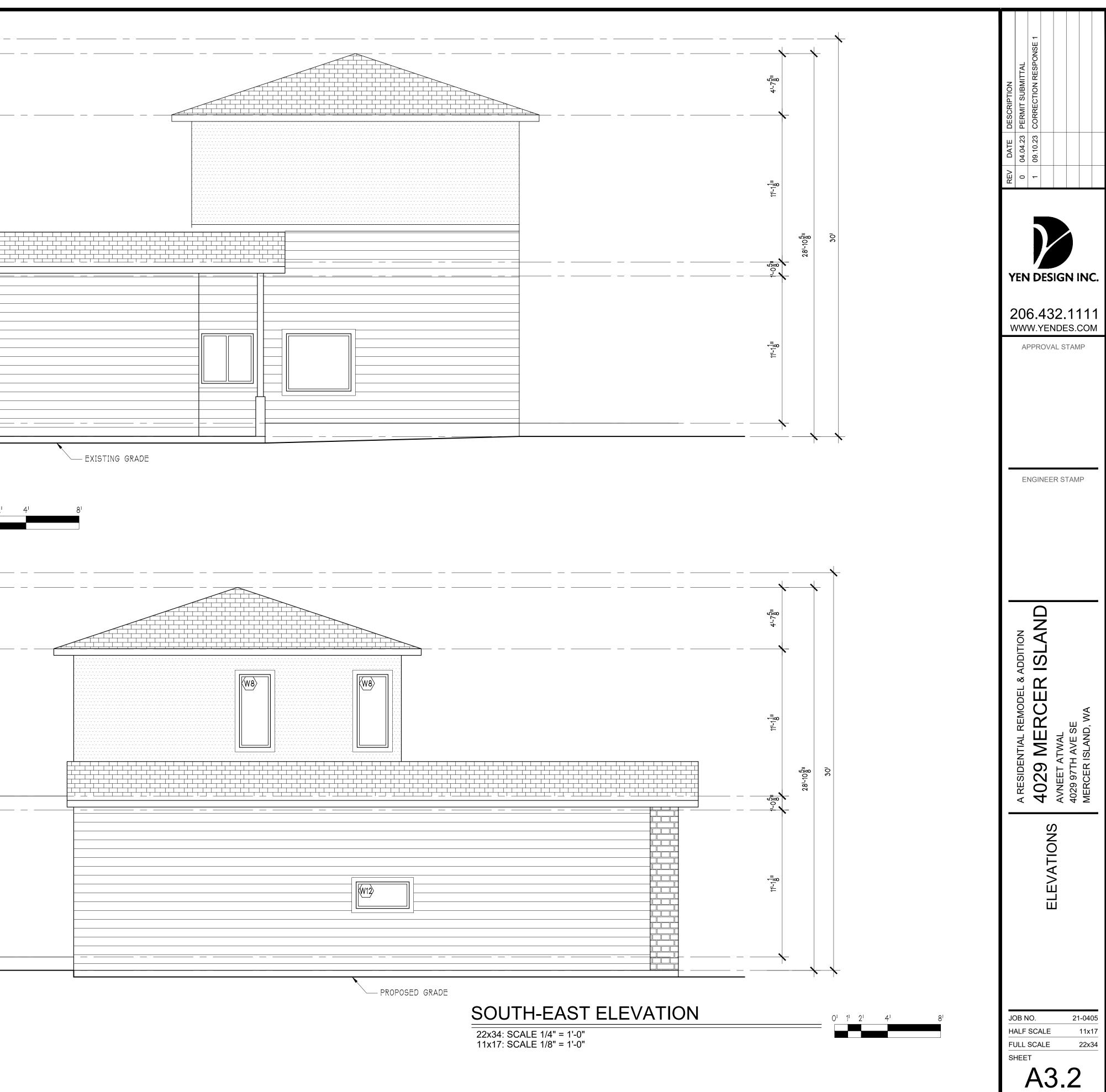
1/2 GABLE, ROOF JACK, OR RIDGE VENTING 1/2 BIRD BLOCK OR SOFFIT VENTING.

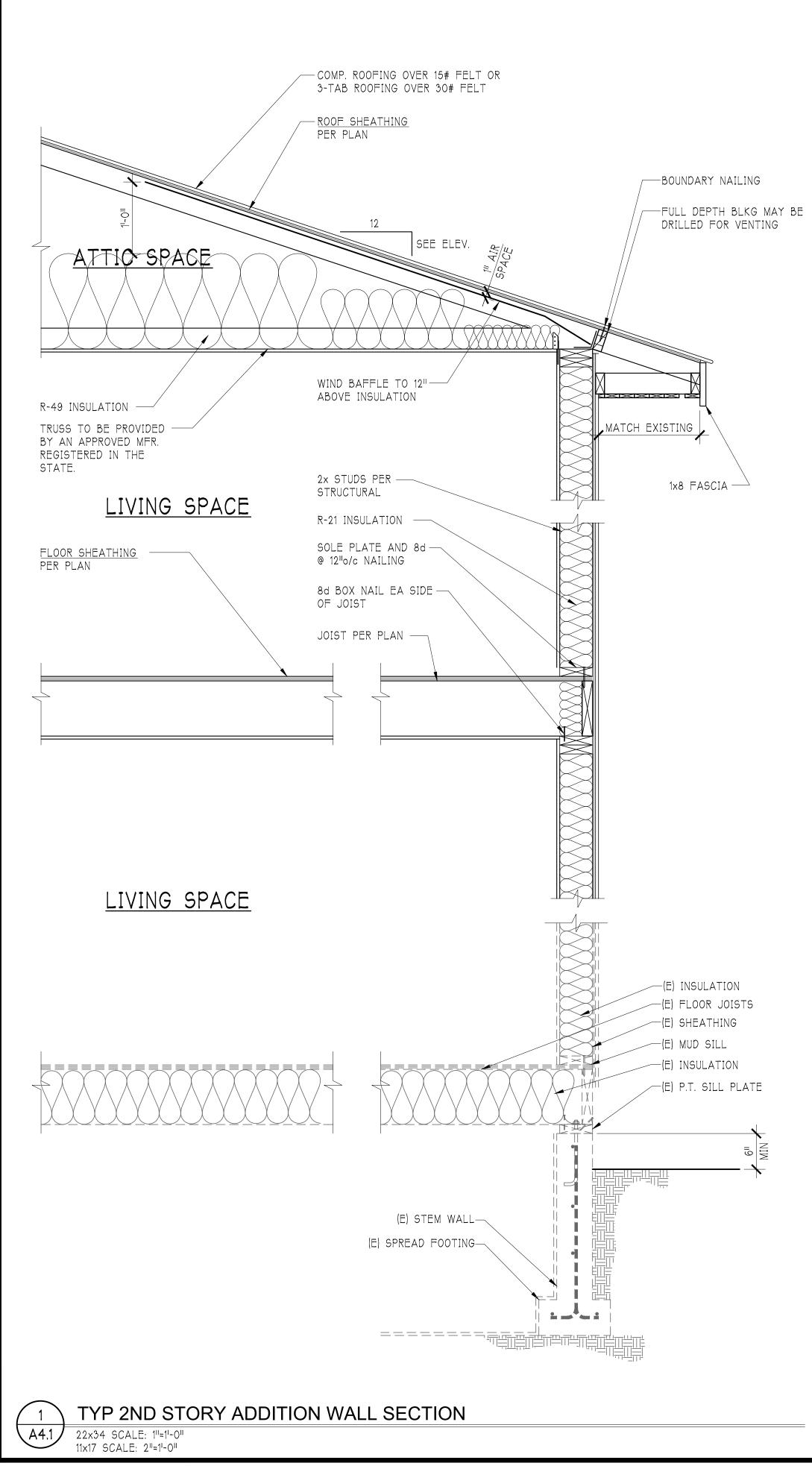
LEGEND STRUCTURE BELOW ROOF LINE GUTTER ROOF VENT INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION	REV DATE DESCRIPTION 0 04.04.23 PERMIT SUBMITTAL 1 09.10.23 CORRECTION RESPONSE 1 1 09.10.23 CORRECTION RESPONSE 1
GENERAL NOTES	YEN DESIGN INC. 206.432.1111 WWW.YENDES.COM
A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.	APPROVAL STAMP
 B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR. YEN DESIGN IS TO BE CONTACTED IF ACTUAL EXISTING FRAMING CONDITIONS VARY FROM PLAN ASSUMPTIONS AFTER CEILING WALL COVERINGS ARE REMOVED. 	
C. SEE SHEET A1.1 FOR COMMON CODE REQUIREMENTS.	
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	AN
	ROOF PLAN
	JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET A2.3

	<u>30' MAX BUILDING HEIGHT 332.61'</u> <u>ROOF PEAK 331.51'</u>	
	Ť	
	UPPER LEVEL TOP PLATE	
	UPPER_LEVEL_FINISH_FLOOR	
	Ψ	
	MAIN LEVEL FINISH FLOOR 303.62	
NOR	TH-EAST ELEVATION	
22x34: S	CALE 1/4" = 1'-0"	
11x17: S	CALE 1/8" = 1'-0"	
	30' MAX_BUILDING HEIGHT_332.61'	
	ROOF PEAK_33 <u>1.51</u>	
	UPPER LEVEL TOP PLATE	
	UPPER LEVEL FINISH FLOOR	
	MAIN LEVEL_TOP PLATE	
	MAIN LEVEL FINISH FLOOR_303.62'	
	$\begin{array}{c c} \hline & \text{MAIN LLVLL} & \text{INISH FLOOK} & 505.02 \\ \hline & \text{AVERAGE} & \text{GRADE} & 302.61' \\ \hline & \text{AVERAGE} & 302.61' \\ \hline$	
		EXISTING GRADE



→ 30' MAX BUILDING HEIGHT 332.61' ROOF PEAK 331.51'	
UPPER LEVEL TOP PLATE	
UPPER LEVEL FINISH FLOOR	
MAIN LEVEL FINISH FLOOR 303.62' AVERAGE GRADE 302.61'	
 ORTH-WEST ELEVATION 2x34: SCALE 1/4" = 1'-0"	0'
1x17: SCALE 1/8" = 1'-0"	
Ix17: SCALE 1/8" = 1'-0"	
Ix17: SCALE 1/8" = 1'-0" $\Rightarrow 30' \text{ MAX BUILDING HEIGHT } 332.61'$	
1x17: SCALE 1/8" = 1'-0" → 30' MAX_BUILDING_HEIGHT_332.61' → ROOF_PEAK_331.51' → UPPER_LEVEL_TOP_PLATE	

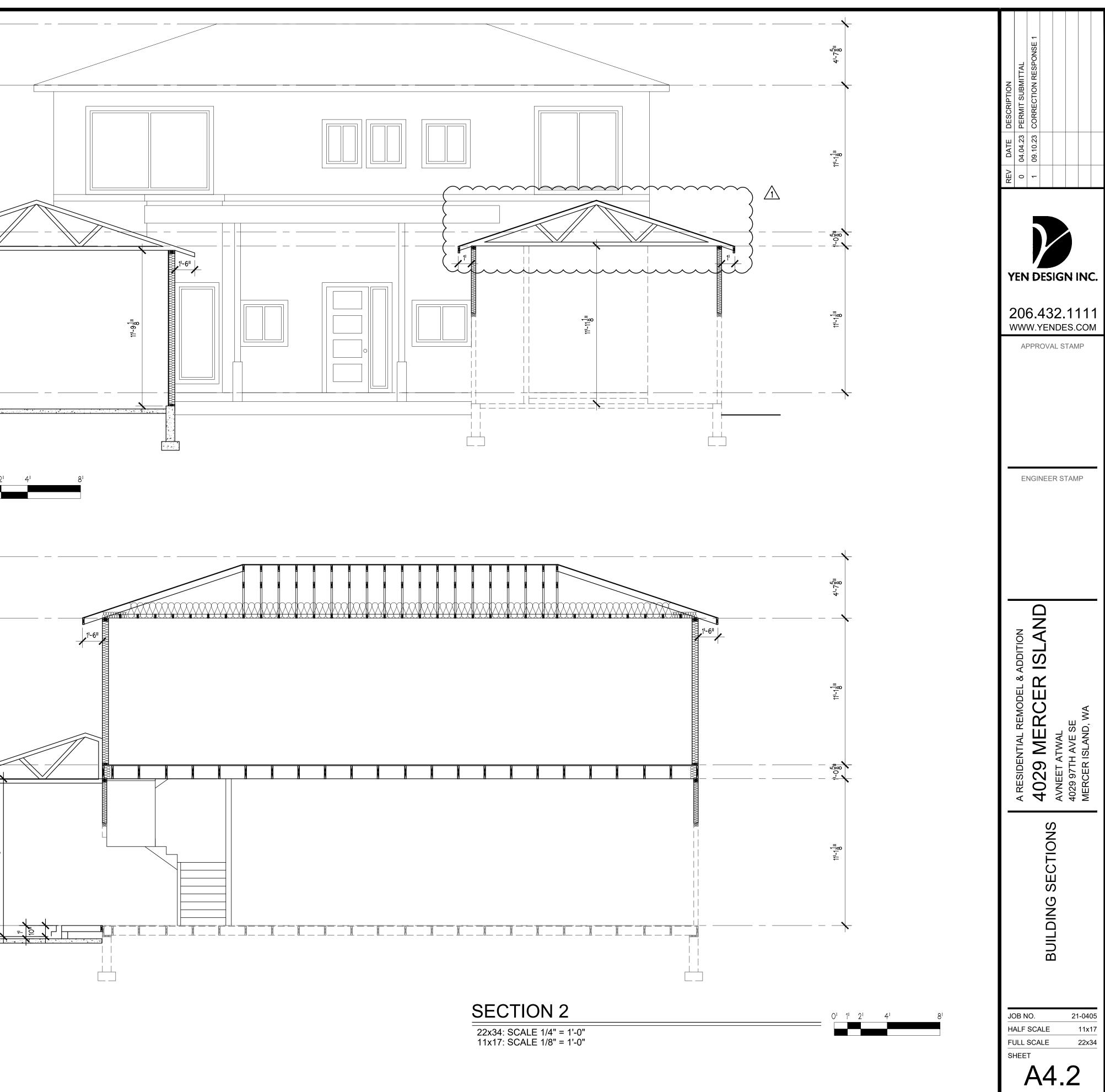




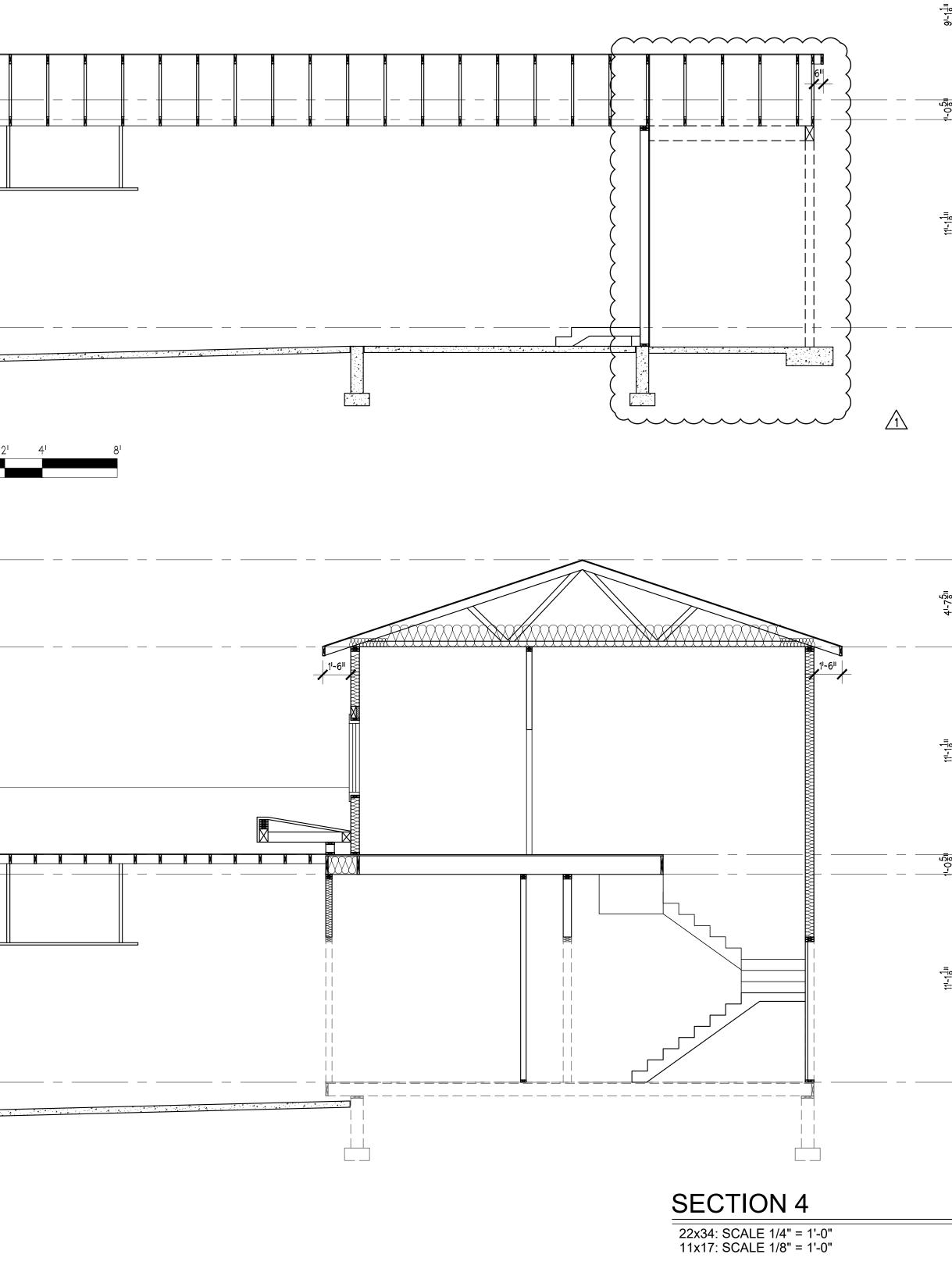
STRUCTURAL ELEMENTS ARE FOR REFERENCE ONLY. IF DISCREPANCES OCCUR, STRUCTURAL DRAWINGS GOVERN DESIGN.

			-		REV DATE DESCRIPTION
		A RESIDENTIAL REMODEL & ADDITION			0 04.04.23 PERMIT SUBMITTAL
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1-040 11x 22x		MERCER ISLAND, WA		11	
17		_	_	с. 1	

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	UPPER_LEVEL_TOP_PLATE	
	<u>UPPER LEVEL FINISH FLOOR</u> <u>MAIN LEVEL TOP PLATE</u>	
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	CTION 1 4: SCALE 1/4" = 1'-0"	
11x17	7: SCALE 1/8" = 1'-0"	
	_∲ ^{ROOF} <u>PEAK</u>	
	UPPER_LEVEL_TOP_PLATE	
	↓ UPPER_LEVEL FINISH FLOOR MAIN LEVEL TOP PLATE	
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ONLY. IF DISCREPANCES OCCUR, STE DRAWINGS GOVERN DESIGN.	RUCTURAL	
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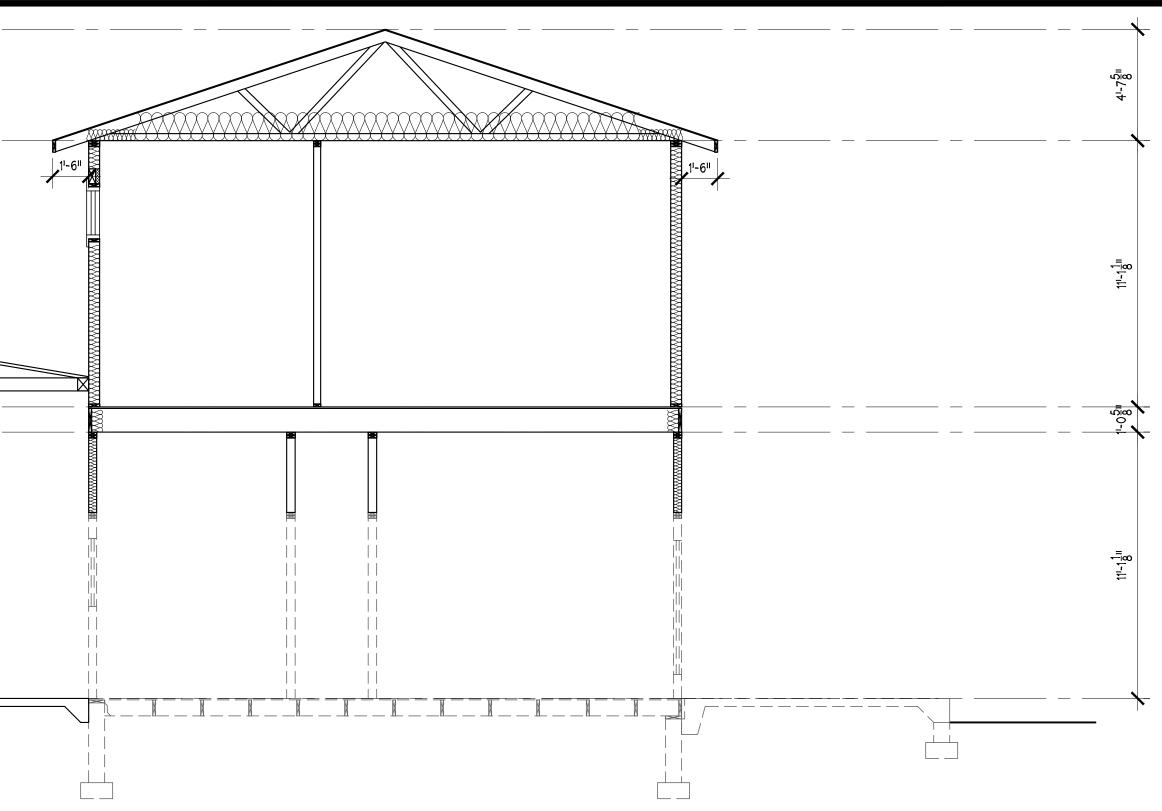
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	UPPER LEVEL TOP PLATE	
	UPPER LEVEL FINISH FLOOR MAIN LEVEL TOP PLATE	
	MAIN LEVEL FINISH FLOOR	
SECTION 3 22x34: SCALE 1/4" = 1'-0" 11x17: SCALE 1/8" = 1'-0"		
	_ <mark>↓</mark> ROOF PEAK	
	UPPER LEVEL TOP PLATE	
	↓ UPPER LEVEL FINISH FLOOR MAIN LEVEL TOP PLATE	
	_♠ MAIN LEVEL_FINISH FLOOR	
		SECTION 4 22x34: SCALE 1/4" = 1'-0"
STRUCTURAL ELEMENTS ARE FOR REFERENCE ONLY. IF DISCREPANCES OCCUR, STRUCTURAL DRAWINGS GOVERN DESIGN.		11x17: SCALE 1/8" = 1'-0"



	REVDATEDESCRIPTION004.04.23PERMIT SUBMITTAL109.10.23CORRECTION RESPONSE 1109.10.23CORRECTION RESPONSE 1
	YEN DESIGN INC.
∞ 	206.432.1111 WWW.YENDES.COM
	ENGINEER STAMP
	A RESIDENTIAL REMODEL & ADDITION 4029 MERCER ISLAND AVNEET ATWAL 4029 97TH AVE SE MERCER ISLAND, WA
	BUILDING SECTIONS
	JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET A4.3

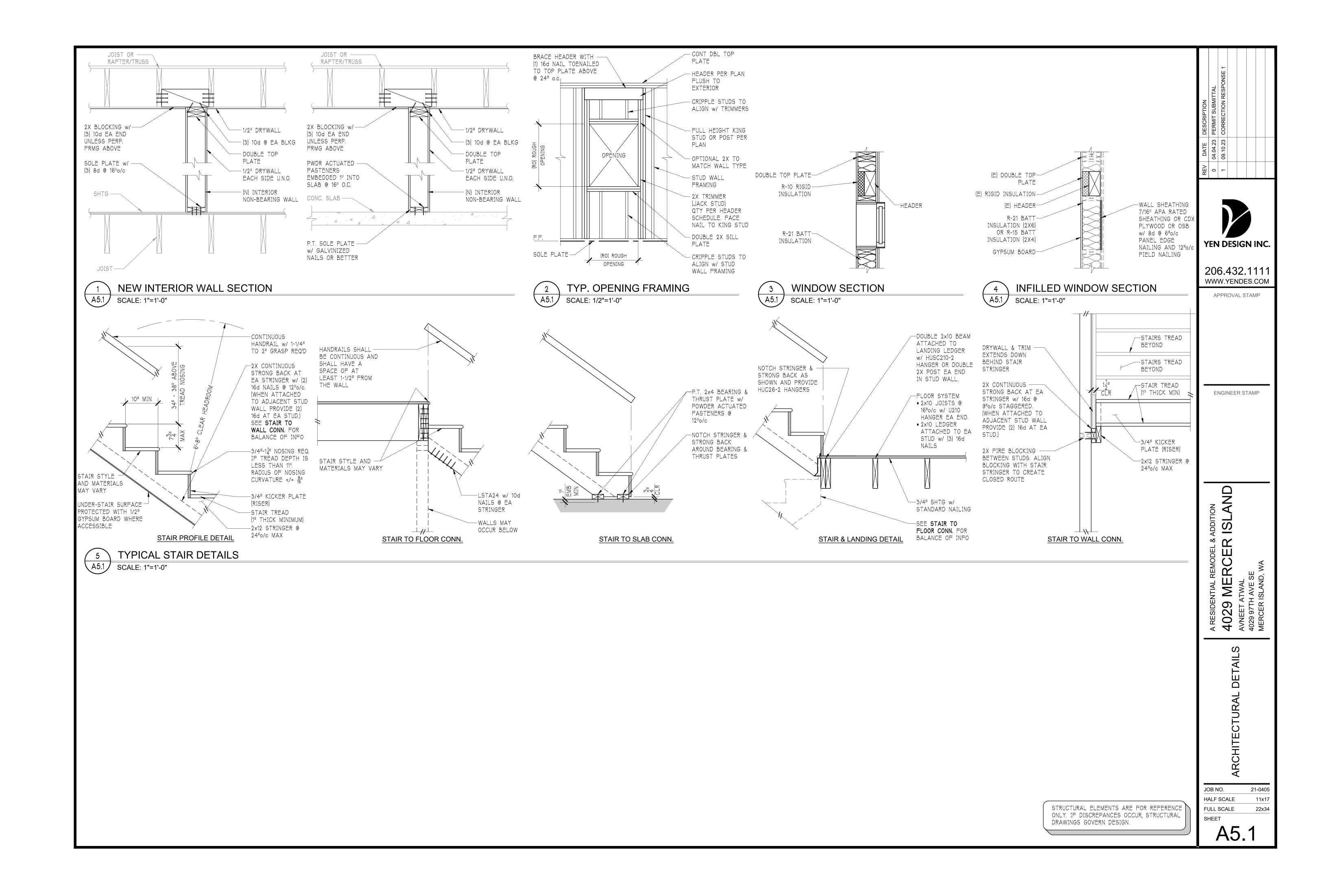
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SECTION 5 22x34: SCALE 1/4" = 1'-0" 11x17: SCALE 1/8" = 1'-0"

DESCRIPTION PERMIT SUBMITTAL CORRECTION RESPONSE 1
REV DATE 0 04.04.23 1 09.10.23
YEN DESIGN INC.
206.432.1111 WWW.YENDES.COM
ENGINEER STAMP
A RESIDENTIAL REMODEL & ADDITION 4029 MERCER ISLAND AVNEET ATWAL 4029 97TH AVE SE MERCER ISLAND, WA
BUILDING SECTIONS
JOB NO. 21-0405 HALF SCALE 11x17 FULL SCALE 22x34 SHEET A44.4



4" (BA

<u>SLAB ON GRADE</u>

4" CONC. SLAB ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

PORCH SLAB

3½" CONC. SLAB ON GRADE ON 95% COMPACTED FILL/VIRGIN SOIL OR STRUCTURAL SLAB PER FOUNDATION DETAILS (REQUIRED IF COMPACTED FILL IS NOT PROVIDED)

GARAGE SLAB

4" CONC. SLAB ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE
 <u>\$ 2018 IEBC</u>
 DESIGN LOADS:
- SOIL 2,000 PSF ALLOWABLE BEARING PRESSURE PER GEOTECH REPORT DATED II/29/22 BY NELSON GEOTECHNICAL ASSOCIATES. INC.
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: f'c = 2,500 psi: FOUNDATION WALLS*
- 2,500 psi: FOOTINGS* 2,500 psi: FOOTINGS* 2,500 psi: INTERIOR SLABS ON GRADE
- 3,500 psi: GARAGE & EXT. SLABS ON GRADE fy = 60,000 psi
- * UTILIZE 5½" SACK 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3,000 PSI CONCRETE FOR WEATHERING POTENTIAL
 • ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS
- THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
 FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOIL
- FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOT CLASSIFICATIONS OF SC, ML-CL, OR CL (60 pcf) SOIL.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN.; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER
- AT THE BOTTOM BARS AND I 1/2" COVER AT THE SIDES. • FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF
- FIRST FLOOR DECK. • ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH ⁵⁄₆" DIA. ANCHOR BOLTS w/ MIN. 3"x3"x ¹⁄₄" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN ¹⁄₂" OF EXTERIOR EDGE OF SILL PLATE) & NUTS @ 6'-0" O.C. @ 2-STORY & 4'-0" O.C. @ 3-STORY CONDITIONS w/ 7" MIN. EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS).
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED HEM FIR #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE.

" 2018 IRC" - OCT 20

• ARCH/BUILDER TO VERIFY ALL DIMENSIONS

LOADING AND DESIG	N	
PARAMETERS		
GRAVITY DESIGN LOADS:		THIS A
DEAD LOAD (PSF): ROOF TRUSS TOP CHORD: ROOF TRUSS BOTTOM CHORD:	7 10	RESIST
ROOF RAFTERS (2x): FLOOR JOIST (I-JOIST):	10 10	(ASCE
TILE LOAD:	10	
LIVE LOAD (PSF): ROOF :	20	<u>ENGINE</u>
RESIDENTIAL LIVING AREAS : RESIDENTIAL SLEEPING AREAS : EXTERIOR DECK:	40 30 60	2018
SNOW LOAD: GROUND SNOW LOAD (Pg) (PSF) :	25	AS PER ACCORD
FLAT ROOF SNOW LOAD (P;) (PSF) : SNOW EXPOSURE FACTOR (C;) :	25 0.9	AND DE
SNOW LOAD IMPORTANCE FACTOR (I) : THERMAL FACTOR (C;) :	I.0 I.2	RESIST T
LATERAL DESIGN LOADS: WIND LOAD: (IBC 1609)		AND D PRES
SPEED (Vult) (MPH) : WIND RISK CATEGORY :	100 11	
IMPORTANCE FACTOR (1w) : EXPOSURE CATEGORY :	I.0 В	<u>STA</u>
INTERNAL PRESSURE COEFF. (GCpl) : TOPOGRAPHIC FACTOR (Kzt) :	±0.18 1.30	
SEISMIC LOAD: (IBC 1613) SEISMIC RISK CATEGORY :	11	• 7/6" (
SEISMIC RISK CATEGORT : SEISMIC IMPORTANCE FACTOR (1.) : MAPPED SPECTRAL RESPONSE :	1.0	FASTE SUPPO
55: 1.406 51: 0.48	9 D (DEFAULT)	ALL SH FRAMII
SPECTRAL RESPONSE COEFF. : Sps: 1.125 Sp:0.590		PROVI <u>SHALL</u> RI ANS
BASIC SEISMIC-FORCE-RESISTING SYS :	D ::	PLANS
LIGHT FRAMED WALLS w/ WOOD STRUCTURAL PANELS ULTIMATE BASE SHEAR:	5	
ULTIMATE BASE SHEAR: TRANS: 11.0k LONG: 1 SEISMIC RESPONSE COEFF. (C5) :	II.0k	• 76" (
TRANS: 0.173 LONG: (RESPONSE MODIFICATION FACTOR (R) :	0.173	● /16 (ONLY)
TRANS: 6.5 LONG: (ANALYSIS PROCEDURE USED:	6.5	SHOWN 3" 0.C.
EQUIVALENT LATERAL FORCE		SHEET MEMBE
MEANS & METHODS NOT	ES	
THE STRUCTURE IS DESIGNED TO BE SELF SUPPO	ORTING AND	<u>NOTES</u> I. LA
STABLE AFTER THE BUILDING IS FINISHED AND ALL P. AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED	D. IT IS THE	2. AL
CONTRACTOR'S SOLE RESPONSIBILITY TO DETE ERECTION PROCEDURES AND SEQUENCE TO INSURE	THE SAFETY	FA (12, J <i>O</i>
OF THE BUILDING AND ITS COMPONENTS DURING CO THIS INCLUDES, BUT IS NOT LIMITED TO, THE A NECESSARY SHORING, SHEETING, TEMPORARY BRA	DDITION OF	3. AL
AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIB SHORING AND BRACING REQUIRED TO STABILIZE AN	BLE FOR ALL	4. AL
EXISTING AND ADJACENT STRUCTURES AND SYSTE COURSE OF DEMOLITION AND CONSTRUCTION OF THE F	EMS DURING	5. WH
STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME TH	IAT ALL	FA OF
SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONT FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMI	TED TO;	
FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND)	
NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S		
NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE AT AS NECESSARY, INCLUDING CONSIDERATION OF THOSE	AREAS	• []
NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE AT	AREAS	• [

HOLD-DOWN SCHEDULE SYMBOL SPECIFICATION HD-I SIMPSON HTT4 HOLD-DOWN * UTILIZE SIMPSON "SET-XP" EPOXY SYSTEM TO FASTEN %" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE IO" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN I ¾" OF EDGE OF FOUNDATION.

SPECIAL INSPECTIONS REQ'D FOR EPOXY INSTALLATIONS

TERAL BRACING NOTES

ADDITION HAS BEEN ENGINEERED TO ST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. B CE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D. <u>TPH WIND IN 2018 IRC MAP</u> NEERED DESIGN WAS COMPLETED PER 18 IBC (SECTION 1609) & ASCE 7-16, ERMITTED BY R301.1.3 OF THE 2018 IRC. DINGLY, THIS ADDITION, AS DOCUMENTED DETAILED HEREWITHIN, IS ADEQUATE TO THE CODE REQUIRED LATERAL FORCES, DOES NOT NEED TO CONFORM TO THE ESCRIPTIVE PROVISIONS OF R602.10.

ANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS

<u>3" O.C. EDGE NAILING</u> (WHERE NOTED ON PLANS)

OSB OR 15/32" PLYWOOD: Y AT LOCATIONS INDICATED ON PLANS - SHEATHE WALL WN WITH $\frac{7}{6}"$ OSB. FASTEN SHEATHING W/ $2\frac{1}{2}"$ XO.I31" NAILS @ P.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING ET PANEL EDGES SHALL OCCUR OVER WALL FRAMING BERS OR 2X HORIZONTAL BLOCKING SHALL BE PROVIDED SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

ATERAL ANALYSIS ASSUMES STUD SPACING @ 16" o.c. ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER w/ 3"x0.131" NAILS @ 8" O.C. USE 12)3½"x0.135" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OI JOINT (TYP. U.N.O)

ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED. ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE

SHEATHED ABOVE AND BELOW OPENINGS. NHERE OSB/PLYWOOD SHEATHING IS APPLIED TO BOTH FACES OF A SHEAR WALL, PANEL JOINT SHALL BE

OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS

LEGEND

INTERIOR BEARING WALL

- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- JL METAL HANGER

BLOCKING UNDER POST OR JAMB ABOVE.

INDICATES POST ABOVE. PROVIDE SOLID

INDICATES HOLDOWN.

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

<u>GENERAL FRAMING</u>

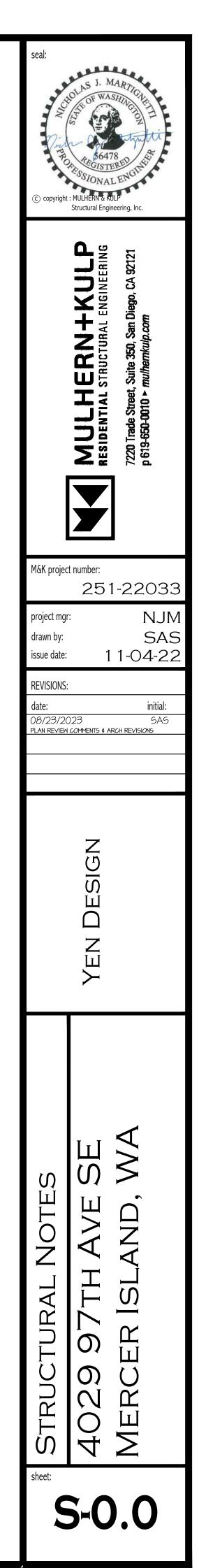
- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
 THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. <u>NOTE: HANGERS USE COMMON NAIL</u> DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS w/ (4) 3"x0.131" TOENAILS (MIN.), TYP. U.N.O.
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS w/ 3-ROWS OF 3"x0.131" NAILS (MIN.) @ 12" o.c. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- ALL MEMBERS SPECIFIED AS MULTI-PLY 1¾" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

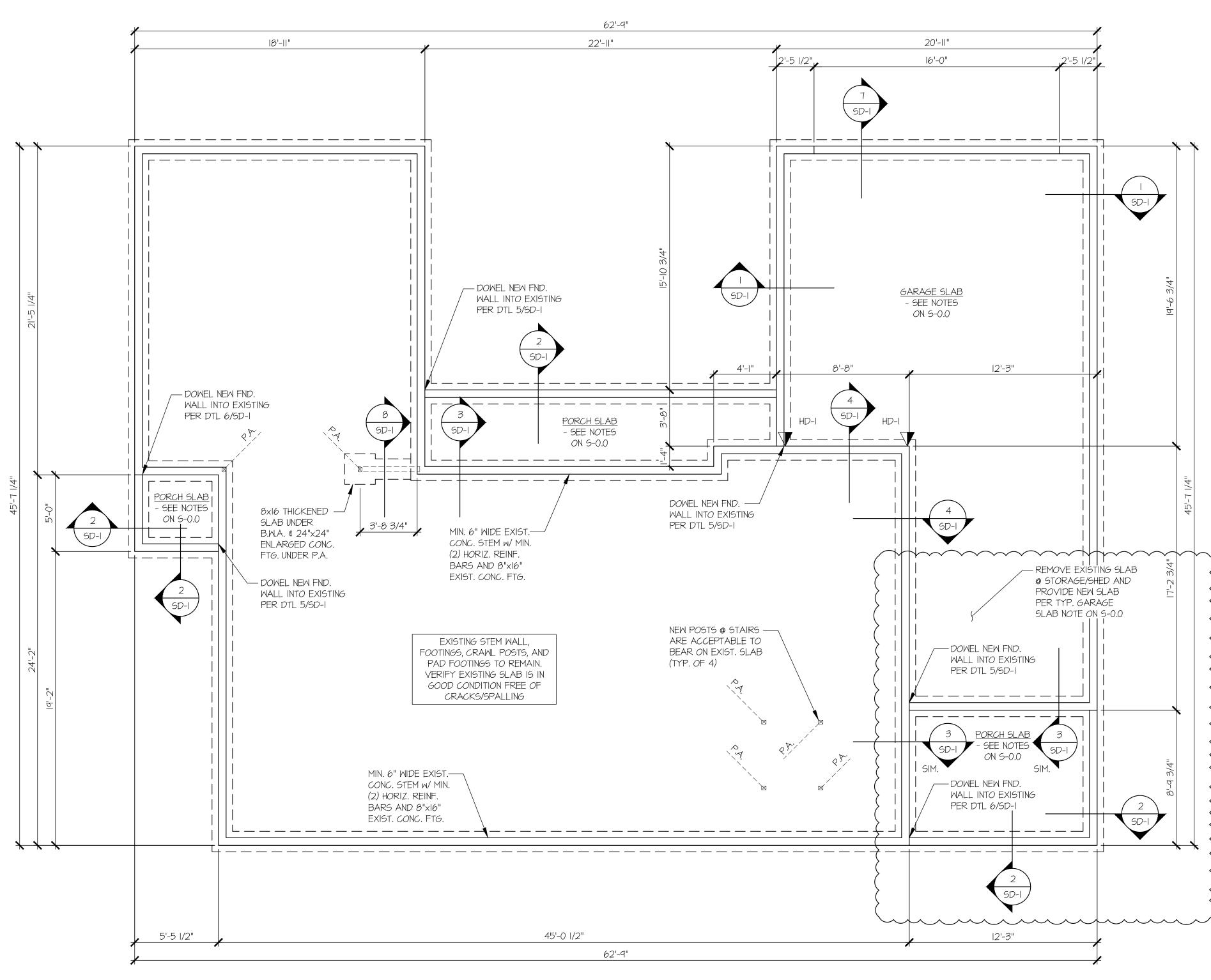
FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF, TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 $\frac{1}{2}$ " × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & 0 12"o.c. FIELD.
- ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE. U.N.O.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS w/ $1/_2$ " LONG NAILS.

<u>ROOF FRAMING</u>

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (3) 3"x0.131"
 TOENAILS (MIN.) & (1) 'SIMPSON' H2.5T CLIP @ ALL BEARING POINTS.
 PROVIDE (2) 'SIMPSON' H2.5T CLIPS AT 2-PLY GIRDER TRUSSES & 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS w/ 2 ½" × 0.131" NAILS @ 6"o.c. AT PANEL EDGES & @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
 WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF
- SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW w/ (2)
 3"x0.131" TOENAILS AT EA. TRUSS.
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB.)
- w/2x6 LEDGER FASTENED TO FRAMING w/(3) 3"x0.131" NAILS @ 16" o.c
 FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" o.c. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.







LEGEND • [_____] INTERIOR BEARING WALL • ____ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.) • ---- BEAM / HEADER • 💻 💻 INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING • INDICATES AREA OF ROOF OVERFRAMING JL METAL HANGER INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. INDICATES HOLDOWN.

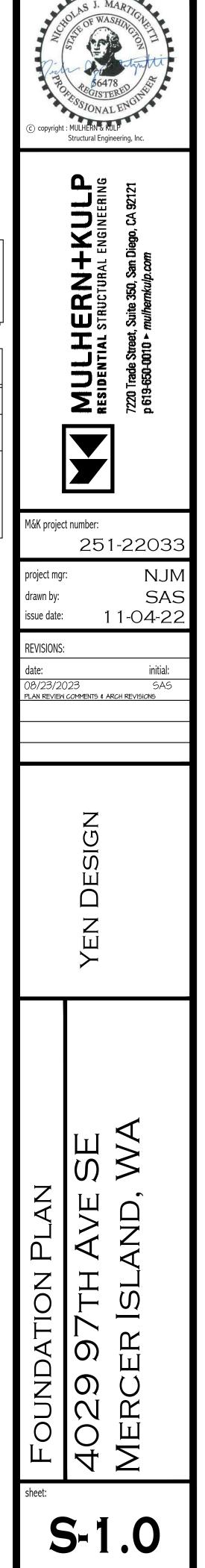
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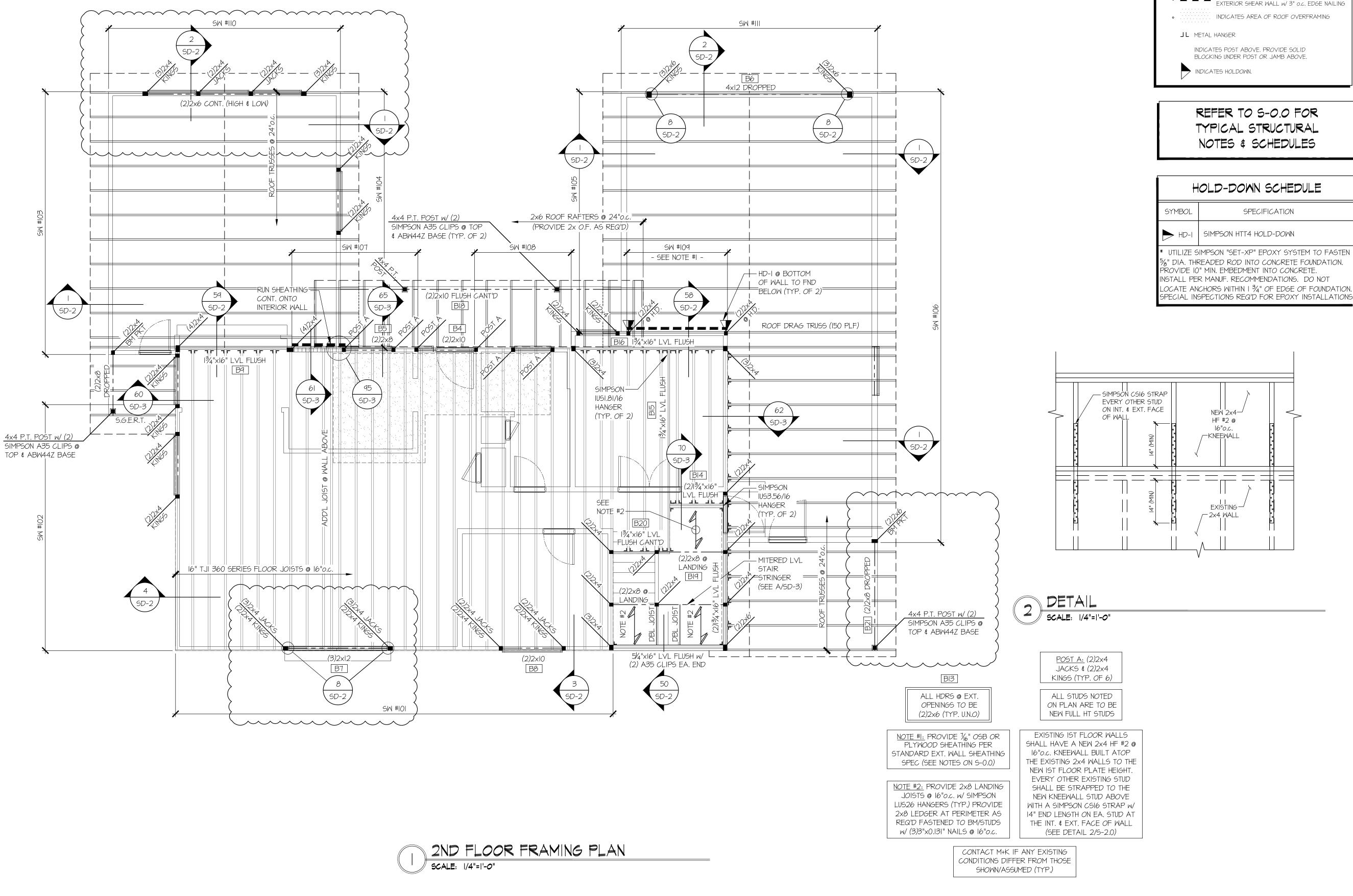
REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

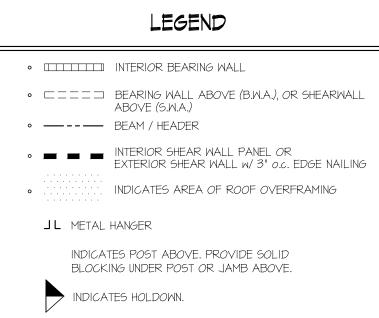
HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
HD-I	SIMPSON HTT4 HOLD-DOWN
%" DIA. THE PROVIDE IC INSTALL PE	NIMPSON "SET-XP" EPOXY SYSTEM TO FASTE READED ROD INTO CONCRETE FOUNDATION. I" MIN. EMBEDMENT INTO CONCRETE. R MANUF. RECOMMENDATIONS. DO NOT
SPECIAL INS	CHORS WITHIN I ¾" OF EDGE OF FOUNDATIC SPECTIONS REQ'D FOR EPOXY INSTALLATIO1



CONTACT M+K IF ANY EXISTING CONDITIONS DIFFER FROM THOSE SHOWN/ASSUMED (TYP.)

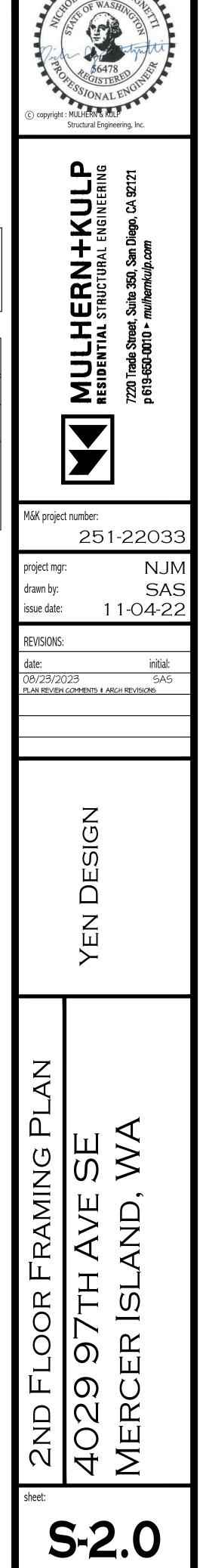


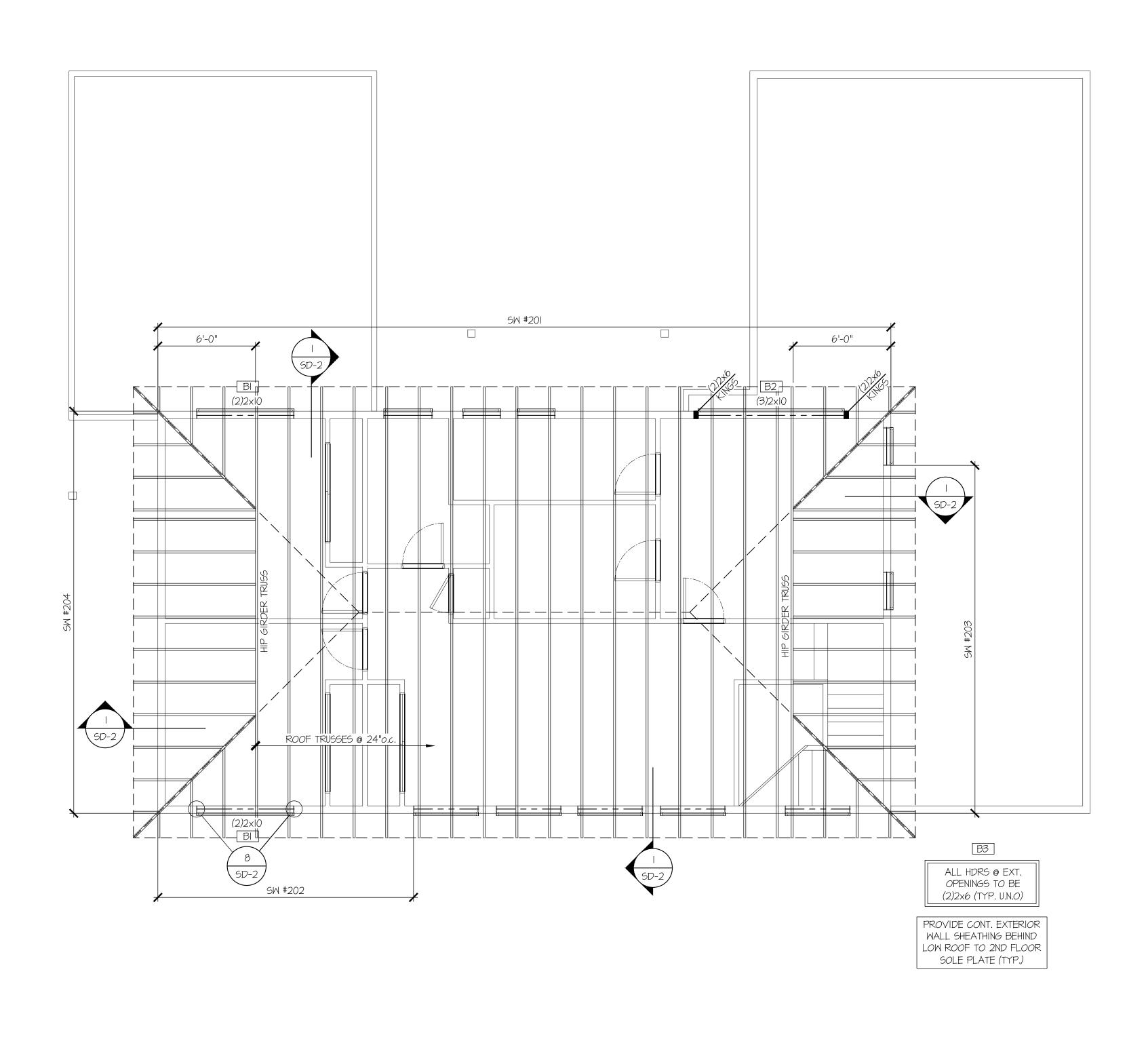


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SYMBOL	SPECIFICATION
HD-I	SIMPSON HTT4 HOLD-DOWN
5%" DIA. THE PROVIDE IC INSTALL PE LOCATE AN	IMPSON "SET-XP" EPOXY SYSTEM TO FASTE READED ROD INTO CONCRETE FOUNDATION. "MIN. EMBEDMENT INTO CONCRETE. R MANUF. RECOMMENDATIONS. DO NOT CHORS WITHIN I 3/4" OF EDGE OF FOUNDATIC SPECTIONS REQ'D FOR EPOXY INSTALLATIC



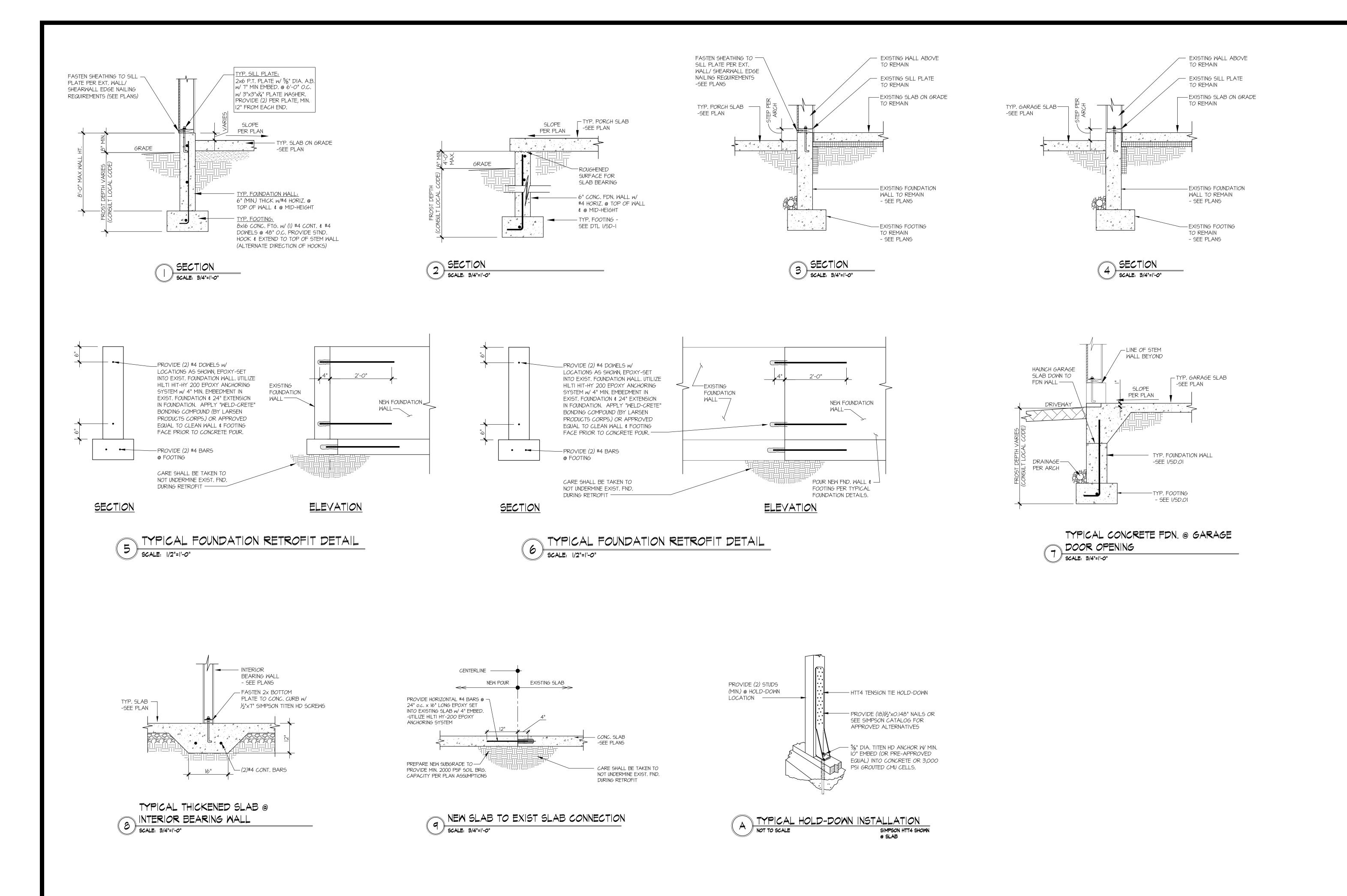


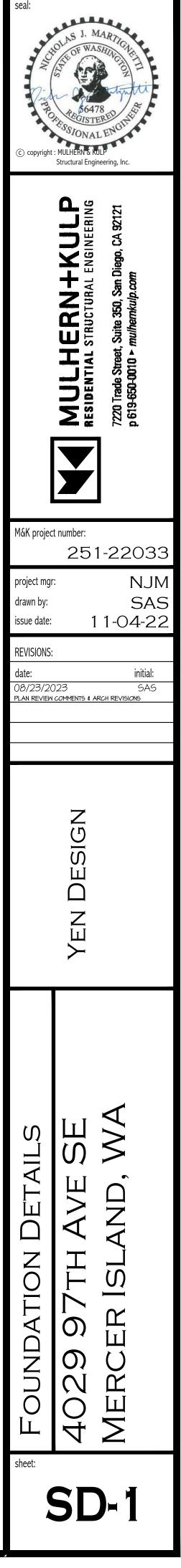


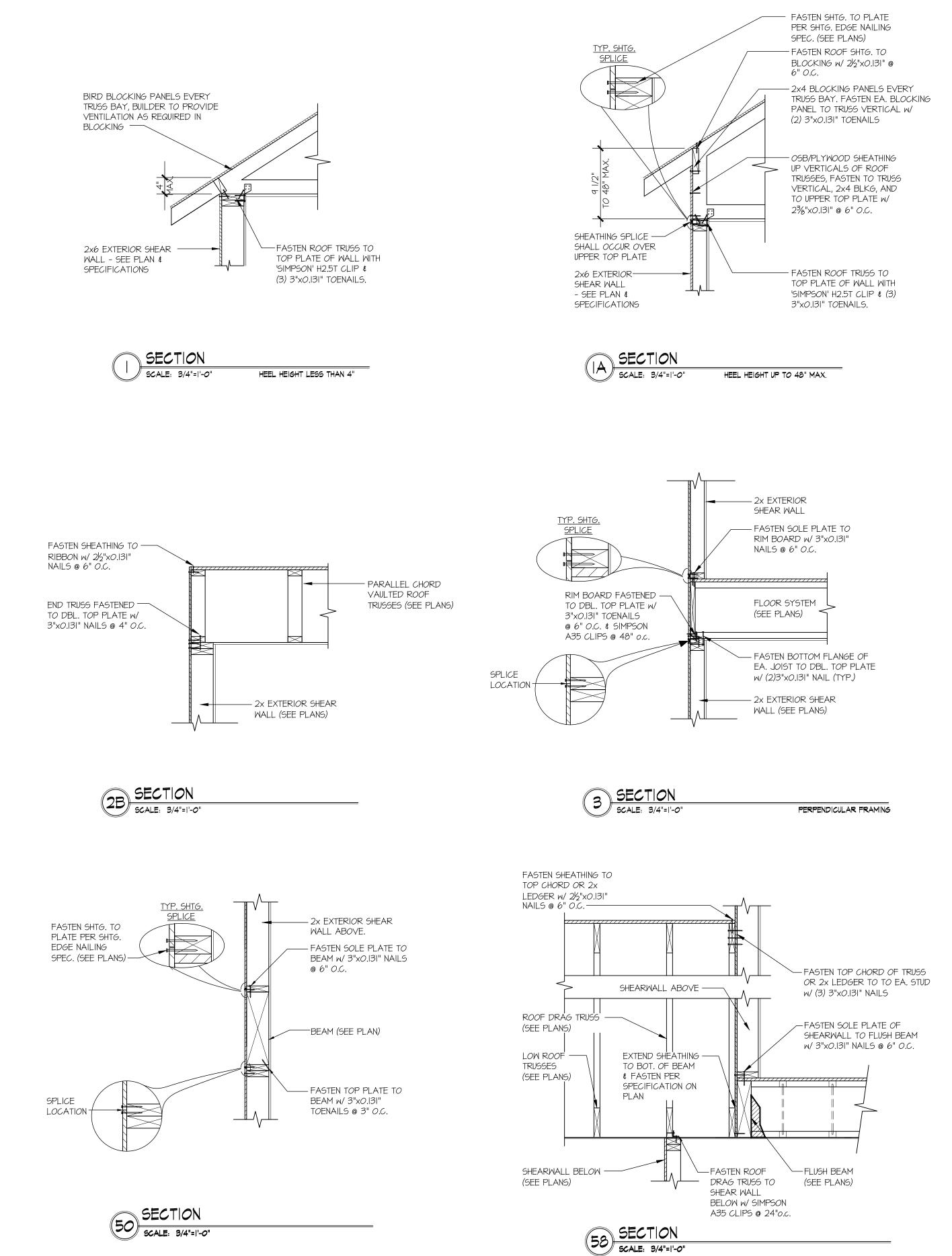
Improve the provide solid solution. Improve the provide solid solution.

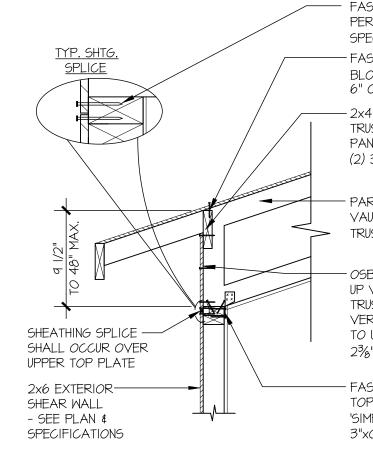
REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

seal: , selles S J. MAL \$6478 GISTERE SIONALEN copyright : MULHERN & KULP Structural Engineering, Inc. **MULHERN+KULP RESIDENTIAL** STRUCTURAL ENGINEERING 7220 Trade Street, Suite 350, San Diego, CA 92121 S P 7220 p 619 M&K project number: 251-22033 NJM project mgr: SAS drawn by: 11-04-22 issue date: **REVISIONS:** date: initial: 08/23/2023 SAS PLAN REVIEW COMMENTS & ARCH REVISIONS SAS SIGN Ц YEN WA S て し Framing Plan М Ш М • AND \triangleleft Η Η <u>I</u>SL Ш Ц 0 ROOF MERC 0 N 40 sheet: **S-3.0**











FASTEN SHTG. TO PLATE PER SHTG. EDGE NAILING SPEC. (SEE PLANS) - FASTEN ROOF SHTG. TO

> BLOCKING w/ 21/2"x0.131" @ 6" O.C.

- 2x4 BLOCKING PANELS EVERY TRUSS BAY. FASTEN EA. BLOCKING PANEL TO TRUSS VERTICAL W/ (2) 3"x0.131" TOENAILS

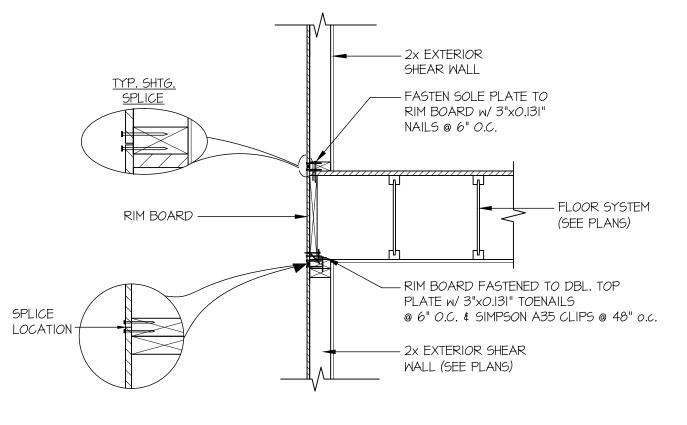
- PARALLEL CHORD VAULTED ROOF TRUSSES (SEE PLANS)

OSB/PLYWOOD SHEATHING UP VERTICALS OF ROOF TRUSSES, FASTEN TO TRUSS VERTICAL, 2x4 BLKG, AND TO UPPER TOP PLATE W/ 2¾"x0.131" @ 6" 0.C.

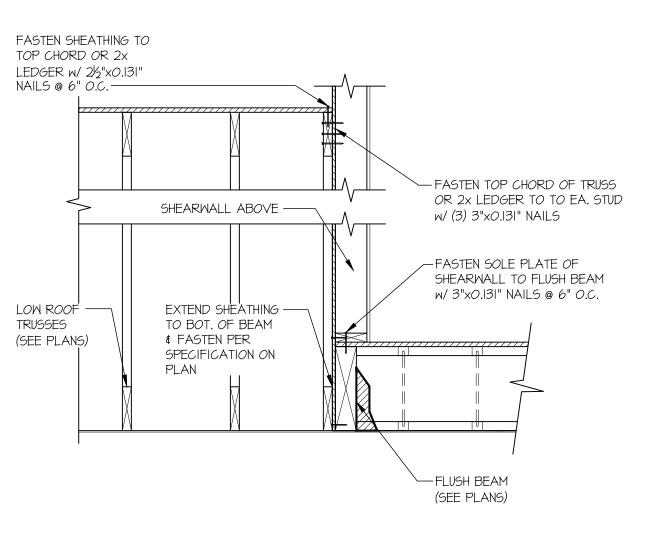
FASTEN ROOF TRUSS TO TOP PLATE OF WALL WITH 'SIMPSON' H2.5T CLIP & (3) 3"x0.131" TOENAILS.

PARALLEL FRAMING

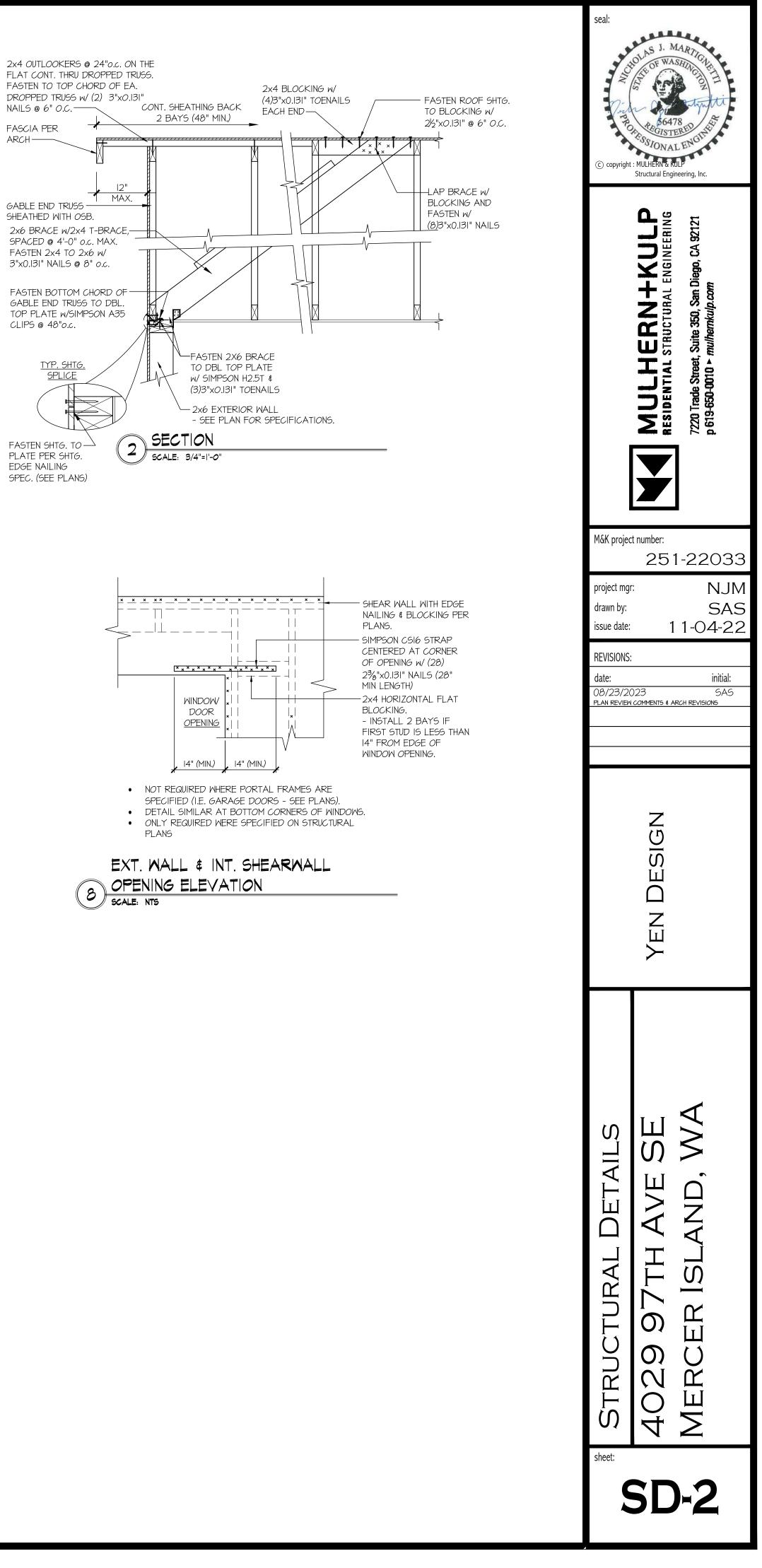


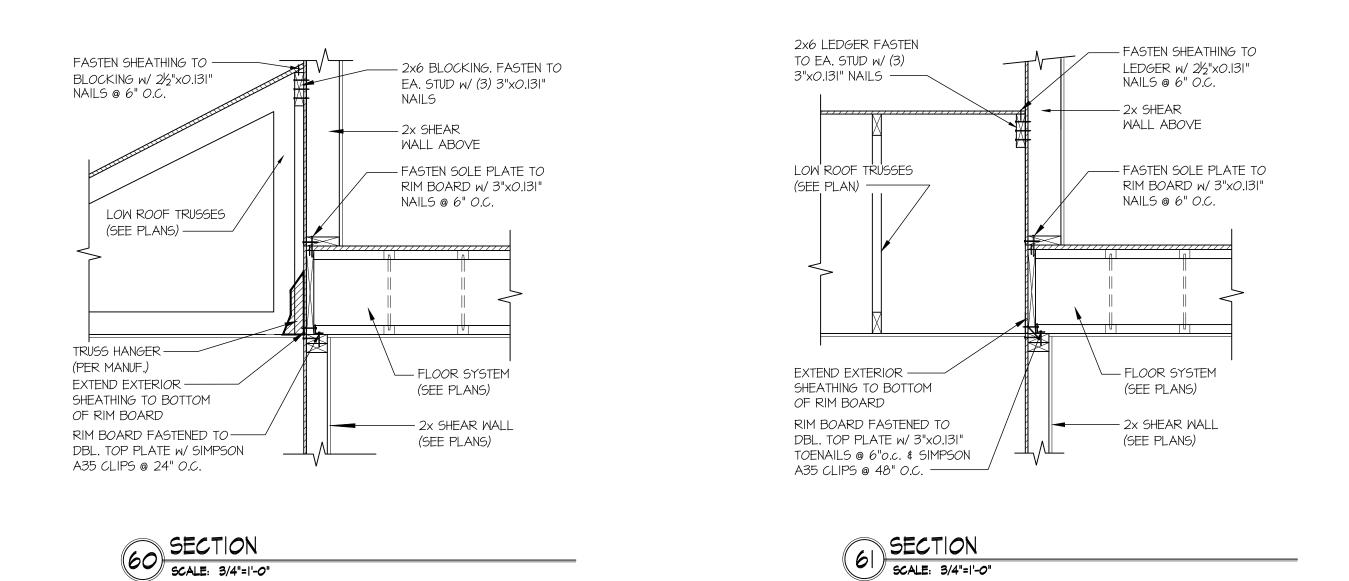


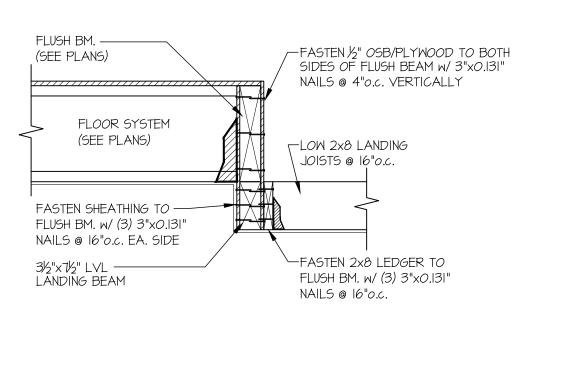
SECTION SCALE: 3/4"=1'-0"



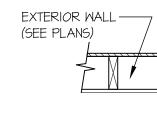
59 SECTION SCALE: 3/4"=1'-0"

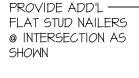




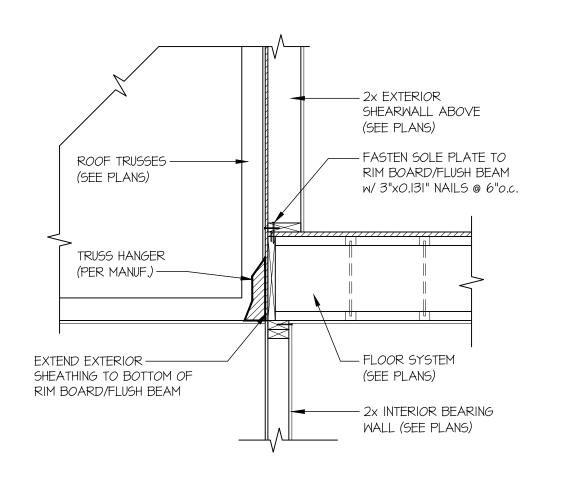




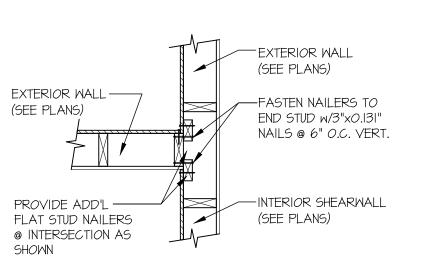


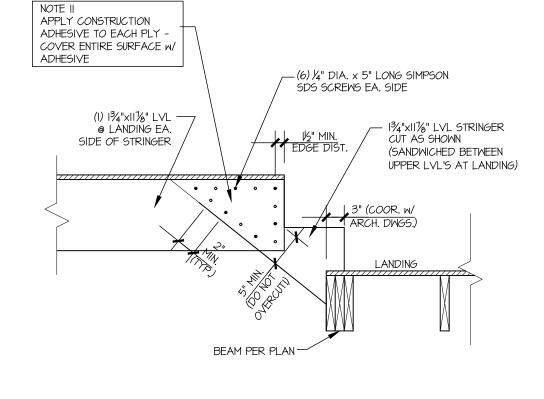






62 SECTION SCALE: 3/4"=1'-0"

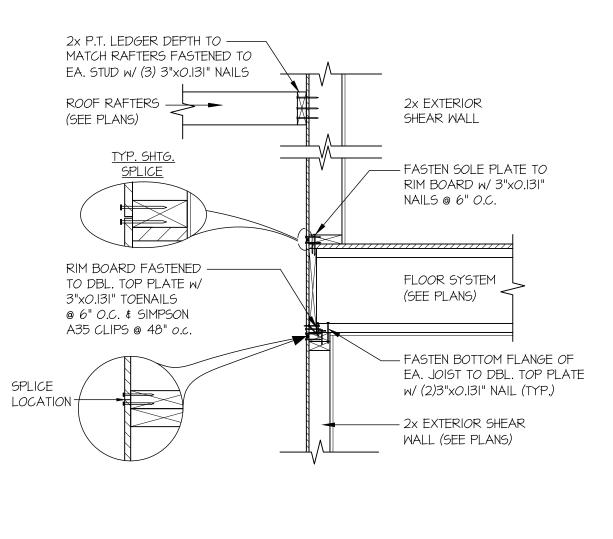




SHEAR TRANSFER DETAIL @ (95) INTERSECTING INT. SHEARWALL SCALE: 3/4"=1'-0" SHTG ON S.

SHTG. ON SAME FACE

A MITERED STAIR STRINGER DETAIL



65 SECTION SCALE: 3/4"=1'-0"

